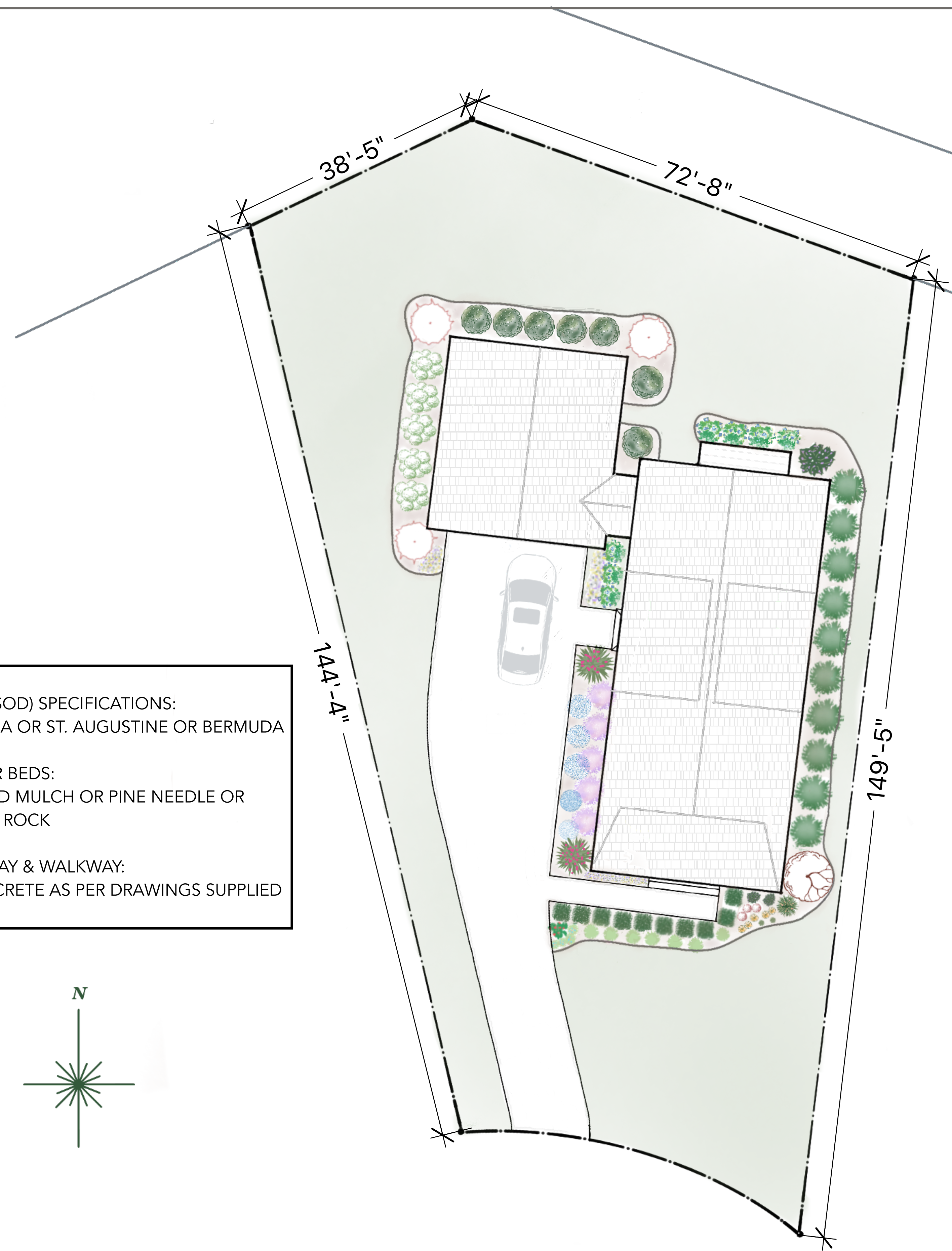
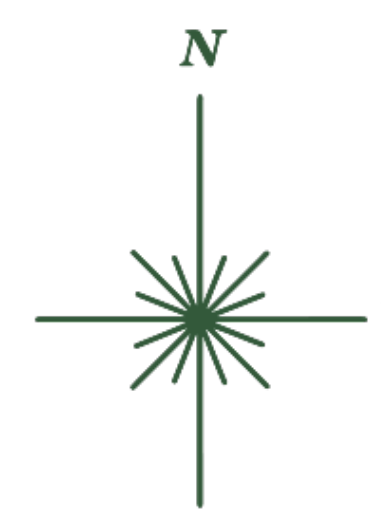


LAWN (SOD) SPECIFICATIONS:
 ZOYSIA OR ST. AUGUSTINE OR BERMUDA

FLOWER BEDS:
 WOOD MULCH OR PINE NEEDLE OR
 RIVER ROCK

DRIVEWAY & WALKWAY:
 CONCRETE AS PER DRAWINGS SUPPLIED



LEGEND		
	<u>COMMON NAME</u>	<u>QUANTITY/SIZE</u>
	BOXWOOD AMERICAN	10 - 5 GALLON
	SPIREAS	8 - 3 GALLON
	HIBISCUS	1 - 3 GALLON
	VINCAS (COLOR VARIETY)	2 - FLATS
	BARBERRY (BURGANDY)	7 - 3 GALLON
	CAMELLIA	2 - 3 GALLON 1 - 5 GALLON
	BLOODGOOD JAPANESE MAPLE	1 - 2.00 CAL B&B+
	BUTTERFLY BUSH	1 - 3 GALLON
	BLACK EYE SUSANS	5 - 1 GALLON
	MONKEY GRASS	2 - 2 GALLON
	JAPANESE PRIVET	10 - 5 GALLON
	HYDRANGEAS	7 - 5 GALLON
	LAUREL (CHERRY)	7 - 5 GALLON
	CRAPE MYRTLE (PURPLE OR PINK)	3 - 1.75 CAL B&B+
	VIBURNUM (WHITE)	5 - 5 GALLON
	AZELEAS SATSUKI (PINK)	5 - 3 GALLON
	VERBANA (BLUE)	5 - 3 GALLON
	RHODODENDRON (PURPLE)	5 - 3 GALLON
	PETUNIAS	6 - FLATS

DATE: 01/15/24
 ISSUED FOR REVIEW

REV. 1: XX/XX/XX
 REV. 2: XX/XX/XX
 REV. 3: XX/XX/XX

A SPEC RESIDENCE FOR:
ANDREW DAWSON
LOT 182, COMMANDERS ISLAND ROAD
SOUTH ISLAND PLANTATION
GEORGETOWN, SC 29440

**AMERICO LANDSCAPING &
 LAWN CARE LLC**
 PO BOX 3642
 PAWLEYS ISLAND, SC 29585
 (843) 352-3030



A SPEC RESIDENCE FOR
ANDREW DAWSON

LOT 182, COMMANDERS ISLAND ROAD
SOUTH ISLAND PLANTATION

NOTE—SEE SEPARATE OWNER FURNISHED SCHEDULES, SAMPLES, AND/OR CUT SHEETS FOR ADDITIONAL APPLICABLE INFORMATION REGARDING MATERIAL, MANUFACTURER, MODEL #, COLOR, SIZE, AND DIMENSIONS WHERE NOT ALREADY SHOWN.

ISSUED FOR REVIEW	06/27/23 06/30/23 10/03/23	10/05/23 10/10/23 XX/XX/XX
ISSUED FOR CONSTRUCTION	10/18/23	
REV. 1	01/24/23	3RD FLR WINDOW GRID
REV. 2	XX/XX/XX	
REV. 3	XX/XX/XX	
REV. 4	XX/XX/XX	



FRONT ELEVATION



REAR ELEVATION

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A SPEC RESIDENCE FOR
ANDREW DAWSON
LOT 182, COMMANDERS ISLAND ROAD
SOUTH ISLAND PLANTATION

GEORGETOWN CONSTRUCTION SERVICES, INC.



249 PINCKNEY ROAD
P. O. BOX 415
GEORGETOWN, SC 29442
PHONE (843) 546-4431

LOCATION
GEORGETOWN, SC

SCALE
1/4" = 1'-0"

DRAWN BY
WRT

DWG. NO.

CONCEPTUAL REVIEW APPLICATION
ARCHITECTURAL REVIEW BOARD

DATE: 12-2-23

LOT NUMBER: 182
STREET/ROAD: COMMANDERS ISLAND
OWNER: WINYAH BAY BUILDERS
ADDRESS: 4340 SOUTH FRASER ST, GEORGETOWN, SC 29440
TELEPHONE: 843-344-1489

ARCHITECT/DESIGN PROFESSIONAL: GEORGETOWN CONSTRUCTION SERVICES
ADDRESS: 249 PINCKNEY LN, GEORGETOWN, SC 29440
TEL./EMAIL: 843-546-4431; GCSIBILL@AOL.COM

CONTRACTOR: JMS CONSTRUCTORS
ADDRESS: 458 SHORE RUSH DR, PAWLEYS ISLAND, SC 29585
TEL./EMAIL: 843-833-3073

SURVEYOR: BRUCE ABBOTT; TIDEWATER LAND SURVEYING

LANDSCAPE ARCHITECT/DESIGNER: JMS CONSTRUCTORS
ADDRESS: SEE ABOVE
TEL./EMAIL: _____

FOR ARB USE:

- CONCEPTUAL PLAN APPROVED
- SAMPLE BOARD
- SURVEY
- ARCHITECTURAL QUESTIONNAIRE
- SITE PLAN
- LANDSCAPE PLAN
- FLOOR PLAN
- ELEVATIONS
- BUILDING STAKED IN FIELD

- ON-SITE INSPECTION
- APPROVED/DATE:
- DISAPPROVED:

COMMENTS:

ARCHITECTURAL QUESTIONNAIRE ARCHITECTURAL REVIEW BOARD

To be completed by all builder submitting documents for approval at preliminary and final stages.

Preliminary Final

Lot number: 182

Owner's name: Winyah Bay Builders

Contractor's name: JMS Constructors

Address: 458 Shore Rush Dr.

Telephone/Email: 843-833-3073

S.C. License number: 120692

1. Has the contractor visited the site? Yes No

2. Date of last visit: 12/5/2023

3. Has the contractor read the South Island Plantation ARB Guidelines and the and designed the house accordingly? Yes No

4. Has the house been designed according to the Standard residential building code, especially in regard to wind resistant construction? Yes No

5. Has the contractor attempted to minimize the amount of site to be graded? Yes No

6. Has the contractor attempted to minimize the removal or damage of existing vegetation? Yes No

7. Does the building(s) block principal views from dwellings on adjacent pro properties or properties across the street? Yes No

8. If yes, has an attempt been made to minimize this effect? Yes No

9. Has the house been staked out on the lot (required prior to submitting this form)? (Trees to be removed to be tied with red surveyor's tape) Yes No

10. Area of lot: 0.27 acres

11. Height of structure (highest roof range) above this point: 36'-4"

12. First floor elevation (FFE) (minimum 2' above grade): 3'-4' DEPENDING ON ELEVATION SLOPE

13. Area under perimeter of all construction (building footprint) including all decks, stairs, and roof overhangs: 2000 SQ FT

14. Percentage of site to be graded: 10-15%

Note: This area should be kept to a minimum and generally include only the building pad and drive and walk area.

15. Screening material: TBD SOG + LOW GROWING SHRUBS w/ SEASONAL PLANTS

16. Heated first floor area: 1446

17. Heated mezzanine area: _____

18. Heated second floor area: 1404/ 3RD FL 909

19. Total heated area: 3840

20. Total of screened porch under roof: 540

21. Total square footage: 4380

22. Total screened porch area: 0

23. Total of deck and balconies: 270

24. Are any variances from the Architectural Review Board standards being requested under this application? Yes No
If yes, please describe and give reason: _____

25. Describe and give color for exterior materials for the following:

A. Siding/wall finish: al cement fiber siding; 1st - b&b, 2nd lap siding, 3rd shakes

Color: TBD - Option 1 medium blue Option 2 Neutral Beige Color

B. Trim: To Match Siding

Color: TBD

C. Roofing: Arch Shingles and Metal on Porch Roof and Dormers

Color: Black

D. Doors: Stained Knotty Pine front Entry; Prefinished Fiberglass for Others

Color: TBD

E. Grade Level Screening: TBD STUCCO OR TERRAZZO To COMPLEMENT SIDING

Color: TBD

FINAL REVIEW APPLICATION

ARCHITECTURAL REVIEW BOARD

DATE: 1/26/2024

LOT NUMBER: 182

STREET/ROAD: Commanders Island Rd.

OWNER: _____

ADDRESS: _____

TELEPHONE: _____

DESIGN PROFESSIONAL: _____

ADDRESS: _____

TEL./EMAIL: _____

CONTRACTOR: _____

ADDRESS: _____

TEL./EMAIL: _____

SURVEYOR: _____

LANDSCAPE DESIGNER: _____

ADDRESS: _____

TEL./EMAIL: _____

FOR ARB USE:

PRELIMINARY PLAN APPROVED ON-SITE INSPECTION

SAMPLE BOARD APPROVED/DATE:

SURVEY DISAPPROVED:

ARCHITECTURAL QUESTIONNAIRE

SITE PLAN

LANDSCAPE PLAN

FLOOR PLAN

ELEVATIONS

BUILDING STAKED IN FIELD

COMMENTS: _____

AuthentiSIGN

Toni Rudolph-Olin

1/27/2024 1:10:46 PM GMT

AuthentiSIGN

Teddy Dowling

1/26/2024 6:08:16 PM GMT

AuthentiSIGN

Ken Bolin

1/26/2024 7:05:18 PM GMT

AuthentiSIGN

Tressa Ray

1/26/2024 5:53:47 PM GMT

AuthentiSIGN

Donata Bolden

1/26/2024 5:46:55 PM GMT

CONSTRUCTION APPLICATION
ARCHITECTURAL REVIEW BOARD

Date: 12/13/2023

New construction

Major improvements to existing structure

Lot number and Street/Road: _____

Owner's name: _____

Contractor: JMS CONSTRUCTORS, LLC

Address: 455 SHORE RUSH DR. PAWLEYS ISLAND 29585

Telephone/Email: 843-833-3037 M.SMITH @ JMS CONSTRUCTORS COM

S.C. License number: PBB 15416

PREVIOUS CONSTRUCTION EXPERIENCE

Have you built in South Island Plantation before? Yes No

Please attach a selective list of jobs of similar level within the Horry/Georgetown County area.

AGREEMENT

I, JOHN M. "MARK" SMITH, as contractor for the construction project described above, do hereby submit this deposit in good faith to the Architectural Review Board for assurance that the construction will be implemented in accordance with the final plans as approved by the Architectural Review Board.

I further agree that:

1. I have read the South Island Plantation Architectural Review Board Guidelines and do agree to follow these in full understanding.
2. I agree to construct and fulfill the plans and specifications as approved for this project in the final review by the Architectural Review Board. Any changes to these plans will be first approved by the Board prior to implementation.
3. I understand that the deposit submitted will be returned in full after a satisfactory inspection, unless a deduction is necessary for any corrections to changes not approved by the Board, work to clean up an untidy site, or repairs necessary to streets, road shoulders or common areas.
4. I am responsible for the behavior and actions of all workers contracted to do work on this job while they are in South Island Plantation.
5. I am responsible for maintaining a clean construction site at all times and understand that I am bound by the restrictions covered under the South Island Plantation ARB Guidelines and Covenants.

This application, agreement, and deposit made this 13 day of DECEMBER 2023

By: [Signature] JOHN M. SMITH Witness: _____

Signature: [Signature]

DEPOSIT DATE: _____ AMOUNT RECEIVED: _____

CHECK #: _____

Approved by Architectural Review Board by:
Date: _____

**REQUEST FOR FINAL INSPECTION/DEPOSIT REFUND
ARCHITECTURAL REVIEW BOARD**

Date: _____

Lot number: 182

Owner's name: _____

Owner's address: _____

Contractor: _____

Landscape Designer: _____

Requested Date of Inspection:

I do hereby certify in good faith that the contracted structure on said lot does conform to the Standard Building Code, local codes, and the South Island Plantation Architectural Review Board requirements and standards and the final plans as approved by the Architectural Review Board. All site work, landscaping, cleaning, removal of temporary utilities and repair of damage to rights of way and common areas has been implemented. This constitutes a request for return of Architectural Compliance deposit.

Contractor's signature: _____

Date: _____

Owner's signature: _____

Date: _____

ARB USE:

DEPOSIT RETURNED IN FULL

PARTIAL REFUND

AMOUNT RETURNED: _____

REASON FOR WITHHOLDING:

MINOR CHANGE APPLICATION ARCHITECTURAL REVIEW BOARD

Date: _____

Lot number: _____

Owner's name: _____

Owner's address: _____

Contractor's: _____

Contractor's signature: _____

Landscape Designer: _____

Landscape Designer's signature: _____

Description of requested change:

Reason for change:

(Please attach sketch/specifications of proposed change)

ARB USE:

On-Site Inspection Conducted

Inspected By: _____ Date: _____

APPROVED

CONDITIONAL APPROVAL

Conditions: _____

DISAPPROVED

I understand and approve of this change:

Signed:

1) _____

Date: _____

2) _____

Date: _____

OWNERS AGREEMENT REGARDING TRASH & DEBRIS

This acknowledges that I am the Owner of Lot 182 in South Island Plantation and I agree to keep the lot free from all trash and debris and to keep the lot clean.

TRASH. Such as paper products will be cleaned daily. I recognize that the wind could blow trash onto surrounding lots, thus I will keep such trash that could be blown from our worksite to surrounding lots, including lots across the street, picked up.

DEBRIS. Such as building materials will be removed by each sub-contractor at the appropriate time. No debris will be deposited on any adjacent lots.

Furthermore, I agree that such trash or debris will be hauled off the property and I recognize that if my Builder or any Sub-contractor is proven to have dumped any trash or debris on the property, I will pay a determined fine in the amount of damages (such as cost to remove) and I will make such payment within 30 days of receiving an agreed upon bill.

Owner Signature: Andrew Piper Dawson Date: _____

The Builder is: JMS CONSTRUCTORS, LLC

**OWNERS AGREEMENT WITH
BUILDER CONTRACTOR
REGARDING CONSTRUCTION RULES**

This acknowledges that I am the Owner of Lot 182 in South Island Plantation and JMS CONSTRUCTORS is my Builder/Contractor for my house. By affixing our signatures below, we agree to all the Rules as defined in the South Island Plantation ARB Guidelines. We will ensure that the rules are followed by all parties (i.e., owner, builder, sub-contractors, etc.)” working within South Island Plantation. Failure to abide by any of the above rules may result in the loss of a contractor’s privilege to enter South Island Plantation. on a temporary or permanent basis.

Dated: 12/15/23

Owner
Signature: Andrew Piper Dawson

Dated: 12/13/2023

Builder
Signature: [Signature]

Title: PRINCIPAL

SOUTH ISLAND PLANTATION ASSOCIATION INC.
SOUTH ISLAND PLANTATION ASSOCIATION INC.
PLANTATION BOULEVARD

LEGEND
Ⓣ TELEPHONE PEDESTAL
ⓔ ELEC. POWER BOX



ISSUED FOR REVIEW	06/27/23 06/30/23 10/03/23	10/05/23 10/10/23 XX/XX/XX
ISSUED FOR CONSTRUCTION	10/18/23	
REV. 1	XX/XX/XX	
REV. 2	XX/XX/XX	
REV. 3	XX/XX/XX	
REV. 4	XX/XX/XX	

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A SPEC RESIDENCE FOR
ANDREW DAWSON
LOT 182, COMMANDERS ISLAND ROAD
SOUTH ISLAND PLANTATION

GEORGETOWN CONSTRUCTION SERVICES, INC.



249 PINCKNEY ROAD
P.O. BOX 415
GEORGETOWN, SC 29442
PHONE (843) 546-4431

LOCATION
GEORGETOWN, SC

SCALE
1"=10'-0"
DRAWN BY
WRT

DWG. NO.
SP

LOT 181

LOT 183

HVAC/TRASH

LOT 182
FF ELEV
21.0' MSL

CONCRETE DRIVE

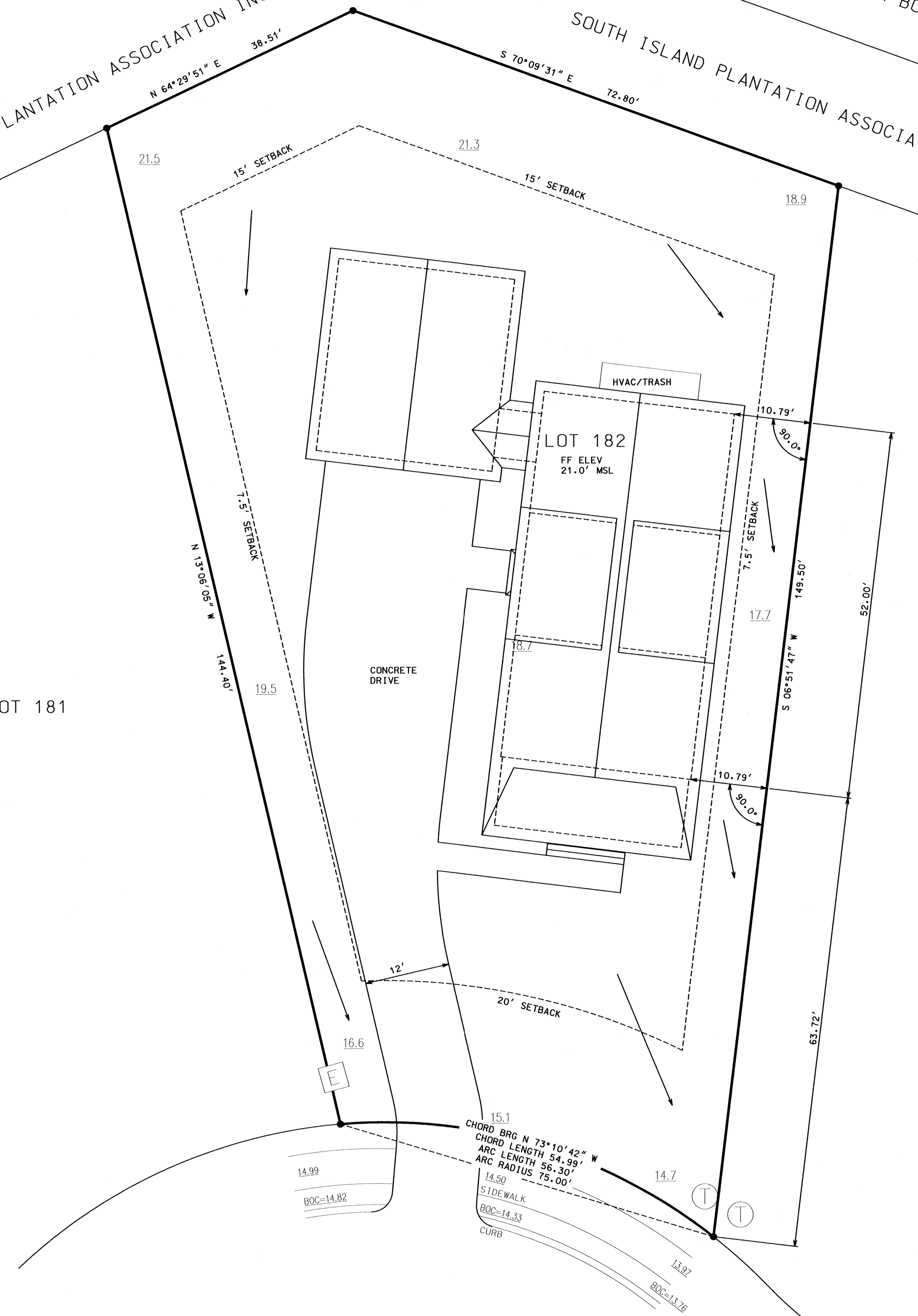
SITE PLAN

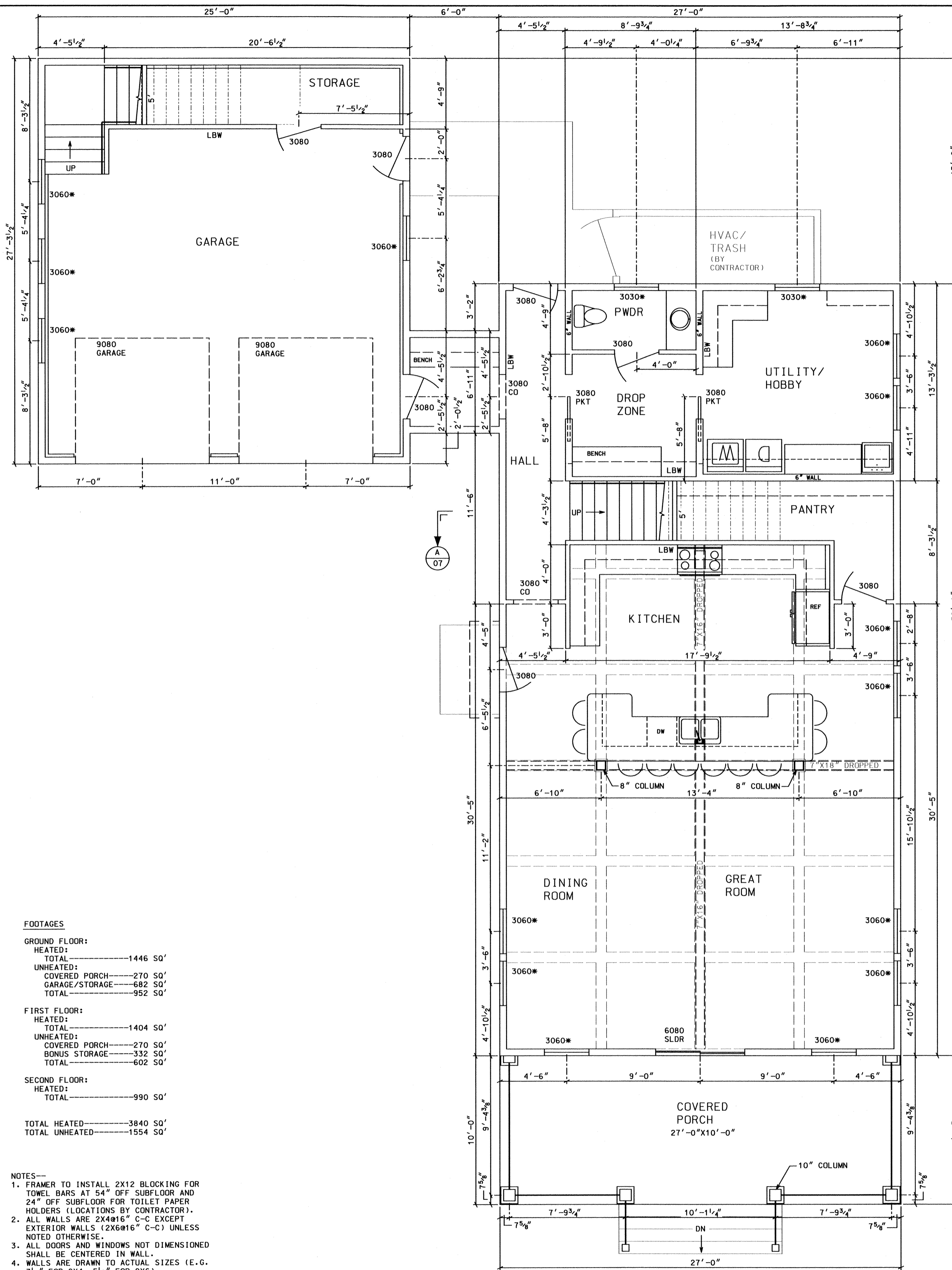
NOTE--NO TREES WERE IDENTIFIED ON THIS LOT AS OF THE DATE OF SURVEY REFERENCED BELOW. SPOT ELEVATIONS SHOWN AND DRAINAGE ARROWS ARE BASED ON EXISTING GRADE. SEE LANDSCAPE PLAN (BY OTHERS) FOR FINAL DRAINAGE AND FINISHED GRADE.

GENERAL NOTES--

1. REFERENCE SURVEY TITLED "SITE PLAN OF LOT 182, PHASE 2, SOUTH ISLAND PLANTATION PDD, SURVEYED FOR FREDDY B LLC, GEORGETOWN COUNTY, SOUTH CAROLINA," DATED 9/26/23, BY TIDEWATER LAND SURVEYING, LLC.
2. ANY REQUIRED VARIANCES TO SETBACK REQUIREMENTS SHALL BE THE RESPONSIBILITY OF OWNER AND/OR CONTRACTOR.
3. HOUSE LOCATION DIMENSIONS ARE TO FOUNDATION/STUD LINE. DRIP LINE WILL BE OFFSET APPROXIMATELY 1'-4" FROM FOUNDATION/STUD LINE.
4. HOUSE LOCATION AND DRIVEWAY SHOWN ARE PROPOSED LOCATIONS AND SUBJECT TO CHANGE FOR FIELD CONDITIONS OR AS PER OWNER AND/OR ARB AND ZONING AUTHORITIES.
5. ALL DIMENSIONS TO BE CONSIDERED APPROXIMATE. SETBACKS, FINAL LOCATIONS, AND DIMENSIONS MUST BE APPROVED AND VERIFIED BY ARB AND ZONING AUTHORITIES BEFORE BEING FIELD VERIFIED BY REGISTERED LAND SURVEYOR PRIOR TO CONSTRUCTION.

COMMANDERS ISLAND ROAD





GROUND FLOOR

*SEE OWNER LIST

FOOTAGES

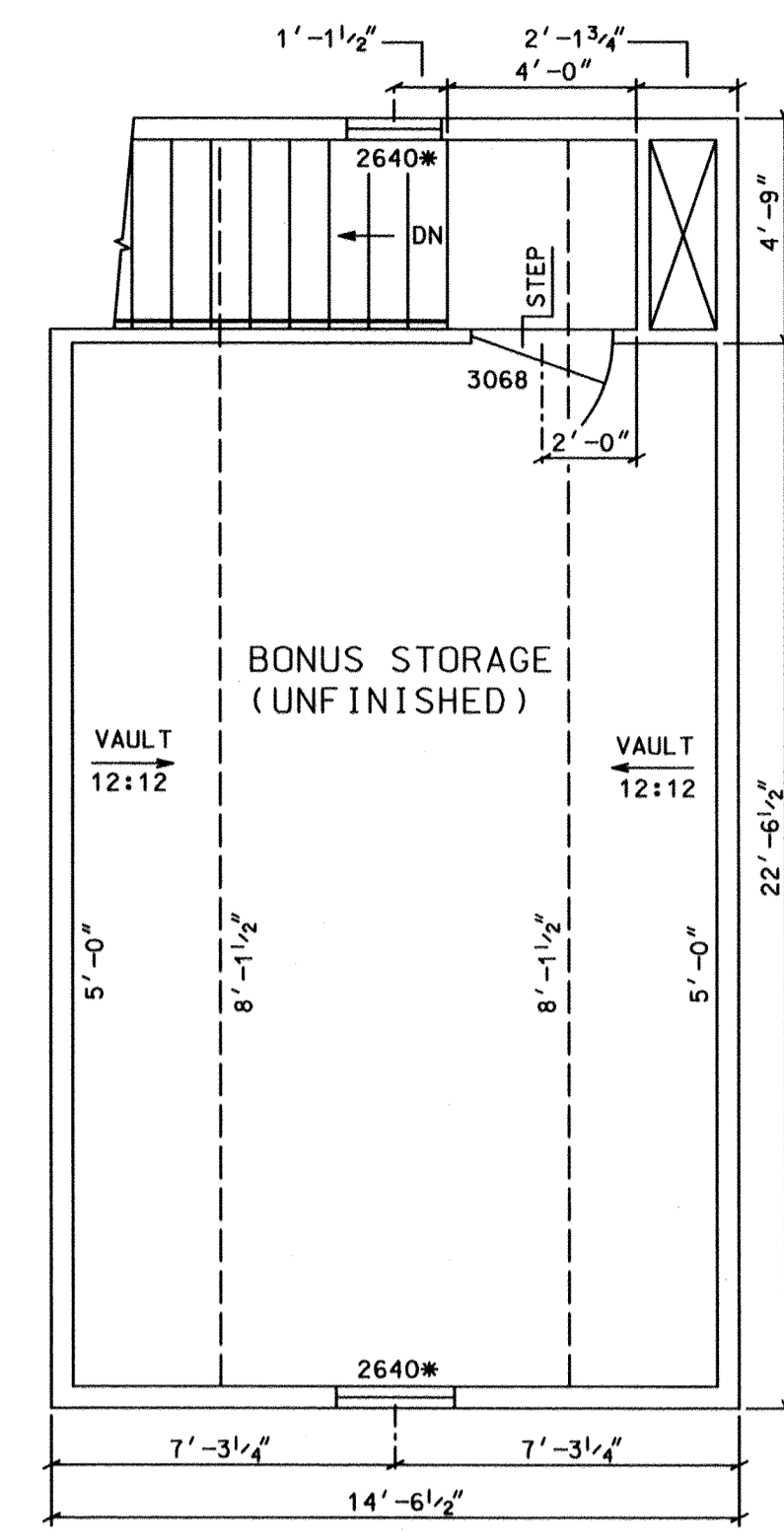
GROUND FLOOR:
 HEATED: TOTAL 1446 SQ'
 UNHEATED: COVERED PORCH 270 SQ', GARAGE/STORAGE 682 SQ', TOTAL 952 SQ'

FIRST FLOOR:
 HEATED: TOTAL 1404 SQ'
 UNHEATED: COVERED PORCH 270 SQ', BONUS STORAGE 332 SQ', TOTAL 602 SQ'

SECOND FLOOR:
 HEATED: TOTAL 990 SQ'

TOTAL HEATED 3840 SQ'
TOTAL UNHEATED 1554 SQ'

- NOTES**
- FRAMER TO INSTALL 2X12 BLOCKING FOR TOWEL BARS AT 54" OFF SUBFLOOR AND 24" OFF SUBFLOOR FOR TOILET PAPER HOLDERS (LOCATIONS BY CONTRACTOR).
 - ALL WALLS ARE 2X4@16" C-C EXCEPT EXTERIOR WALLS (2X6@16" C-C) UNLESS NOTED OTHERWISE.
 - ALL DOORS AND WINDOWS NOT DIMENSIONED SHALL BE CENTERED IN WALL.
 - WALLS ARE DRAWN TO ACTUAL SIZES (E.G. 3 1/2" FOR 2X4, 5 1/2" FOR 2X6).
 - PROVIDE MINIMUM 1/4" FT SLOPE AWAY FROM MAIN HOUSE FOR ALL FRAMED PORCHES AND 1/8" FT SLOPE AWAY FROM MAIN HOUSE FOR ALL CONCRETE PORCHES.
 - ALL WINDOWS ARE DOUBLE HUNG TYPE UNLESS NOTED OTHERWISE.

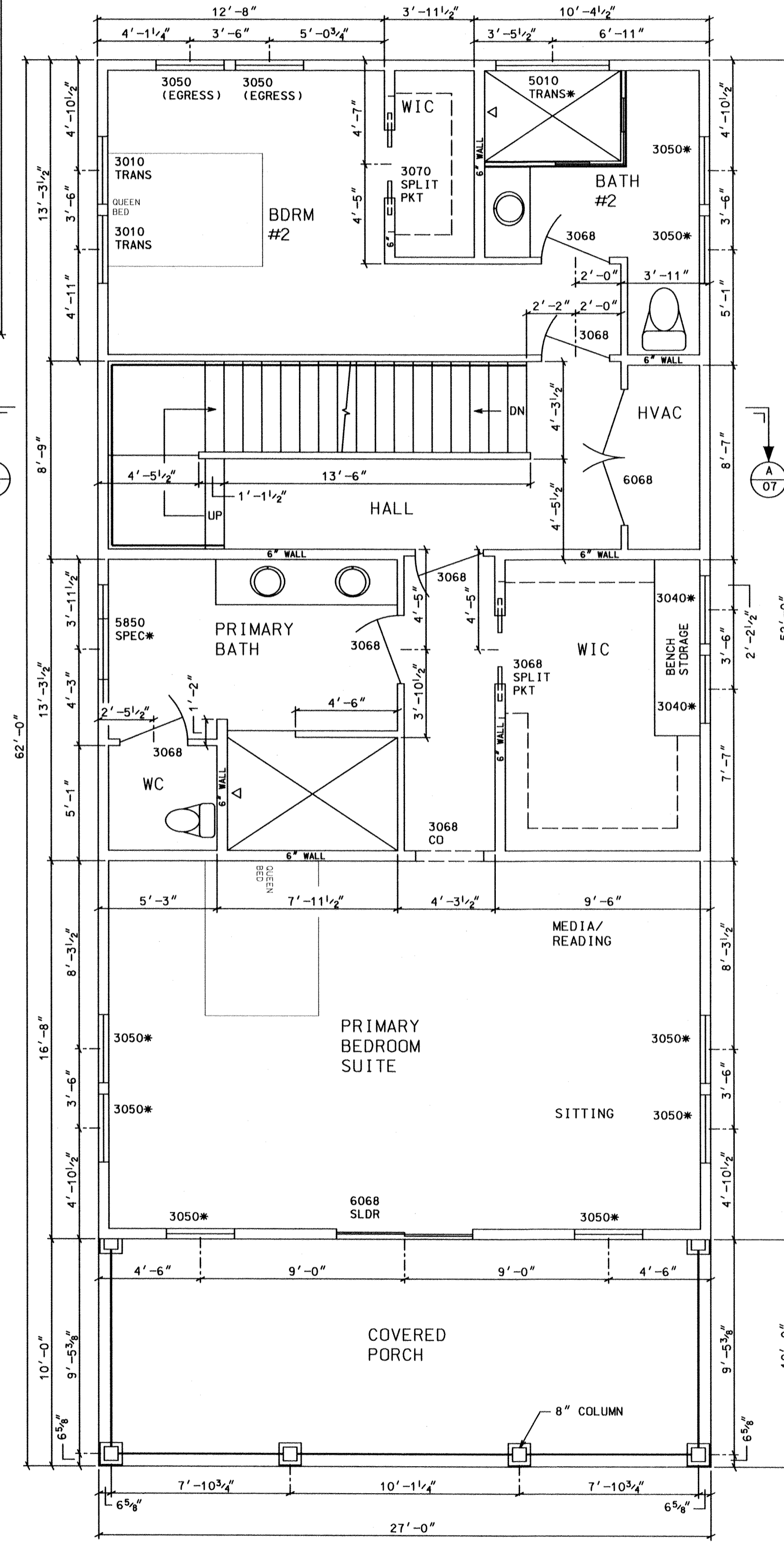


FIRST FLOOR

*SEE OWNER LIST

WINDOW EGRESS REQUIREMENT

ALL WINDOW SIZES (EXAMPLE 3052 = 3'-0" X 5'-2") REPRESENT SASH SIZES. CONFIRM THAT WINDOWS SELECTED WILL MEET 2021 IRC SECTION R310.2 EGRESS REQUIREMENTS (FOR BEDROOMS) OF CLEAR OPENABLE AREA OF 5.7 SQ. FT. (MINIMUM 5.0 SQ. FT. FOR WINDOWS ON GRADE FLOOR). CLEAR OPENABLE WIDTH OF 20" AND CLEAR OPENABLE HEIGHT OF 24". SILL HEIGHT ABOVE FLOOR TO BE 44" OR LESS.



ISSUED FOR REVIEW	06/27/23	10/05/23
	06/30/23	10/10/23
	10/03/23	XX/XX/XX
ISSUED FOR CONSTRUCTION	10/18/23	
REV. 1	XX/XX/XX	
REV. 2	XX/XX/XX	
REV. 3	XX/XX/XX	
REV. 4	XX/XX/XX	

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A SPEC RESIDENCE FOR
 ANDREW DAWSON
 LOT 182, COMMANDERS ISLAND ROAD
 SOUTH ISLAND PLANTATION

GEORGETOWN CONSTRUCTION SERVICES, INC.

249 PINCKNEY ROAD
 P. O. BOX 415
 GEORGETOWN, SC 29442
 PHONE (843) 546-4431

LOCATION GEORGETOWN, SC	
SCALE 1/4"=1'-0"	DRAWN BY WRT
DWG. NO. 03	

WINDOW EGRESS REQUIREMENT

ALL WINDOW SIZES (EXAMPLE 3052 = 3'-0" X 5'-2") REPRESENT SASH SIZES. CONFIRM THAT WINDOWS SELECTED WILL MEET 2021 IRC SECTION R310.2 EGRESS REQUIREMENTS (FOR BEDROOMS) OF CLEAR OPENABLE AREA OF 5.7 SQ.FT. (MINIMUM 5.0 SQ.FT. FOR WINDOWS ON GRADE FLOOR). CLEAR OPENABLE WIDTH OF 20" AND CLEAR OPENABLE HEIGHT OF 24". SILL HEIGHT ABOVE FLOOR TO BE 44" OR LESS.

ISSUED FOR REVIEW	06/27/23 06/30/23 10/03/23	10/05/23 10/10/23 XX/XX/XX
ISSUED FOR CONSTRUCTION	10/18/23	
REV. 1	XX/XX/XX	
REV. 2	XX/XX/XX	
REV. 3	XX/XX/XX	
REV. 4	XX/XX/XX	

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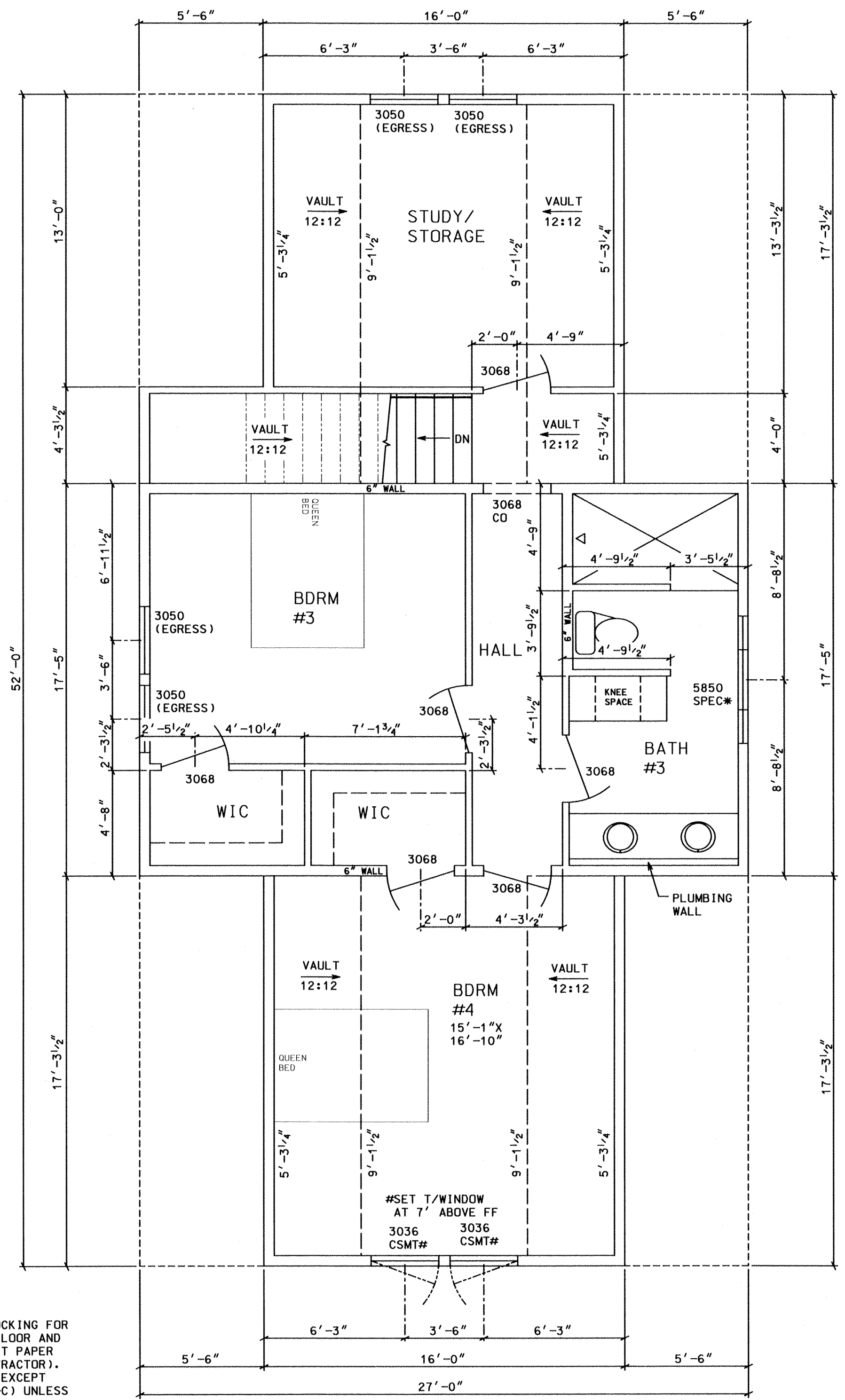
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LOT 182, COMMANDERS ISLAND ROAD
SOUTH ISLAND PLANTATION

GEORGETOWN CONSTRUCTION SERVICES, INC.

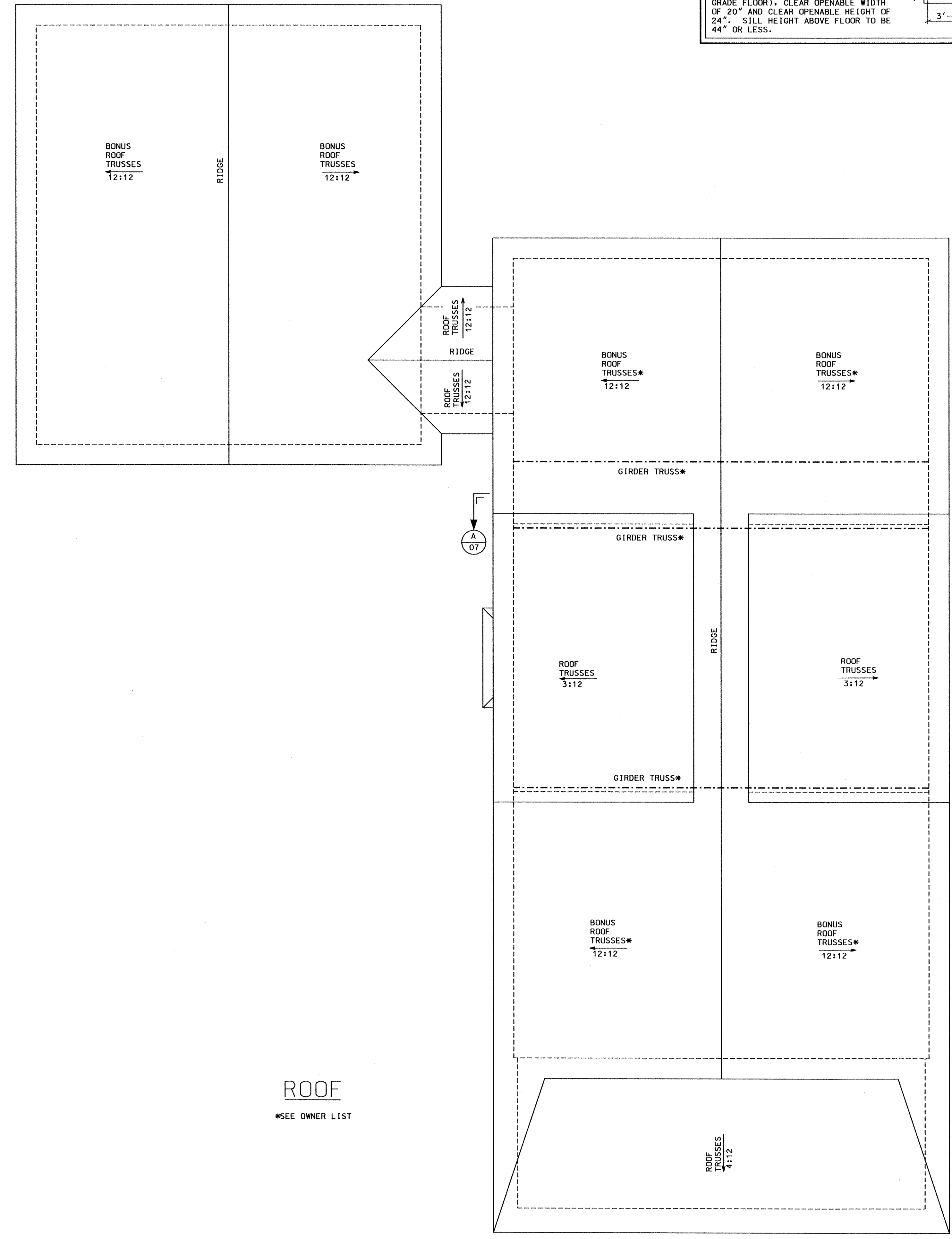
249 PINCKNEY ROAD
P. O. BOX 415
GEORGETOWN, SC 29442
PHONE (843) 546-4431

LOCATION	GEORGETOWN, SC	
SCALE	1/4"=1'-0"	DRAWN BY WRT
DWG. NO.	04	



SECOND FLOOR

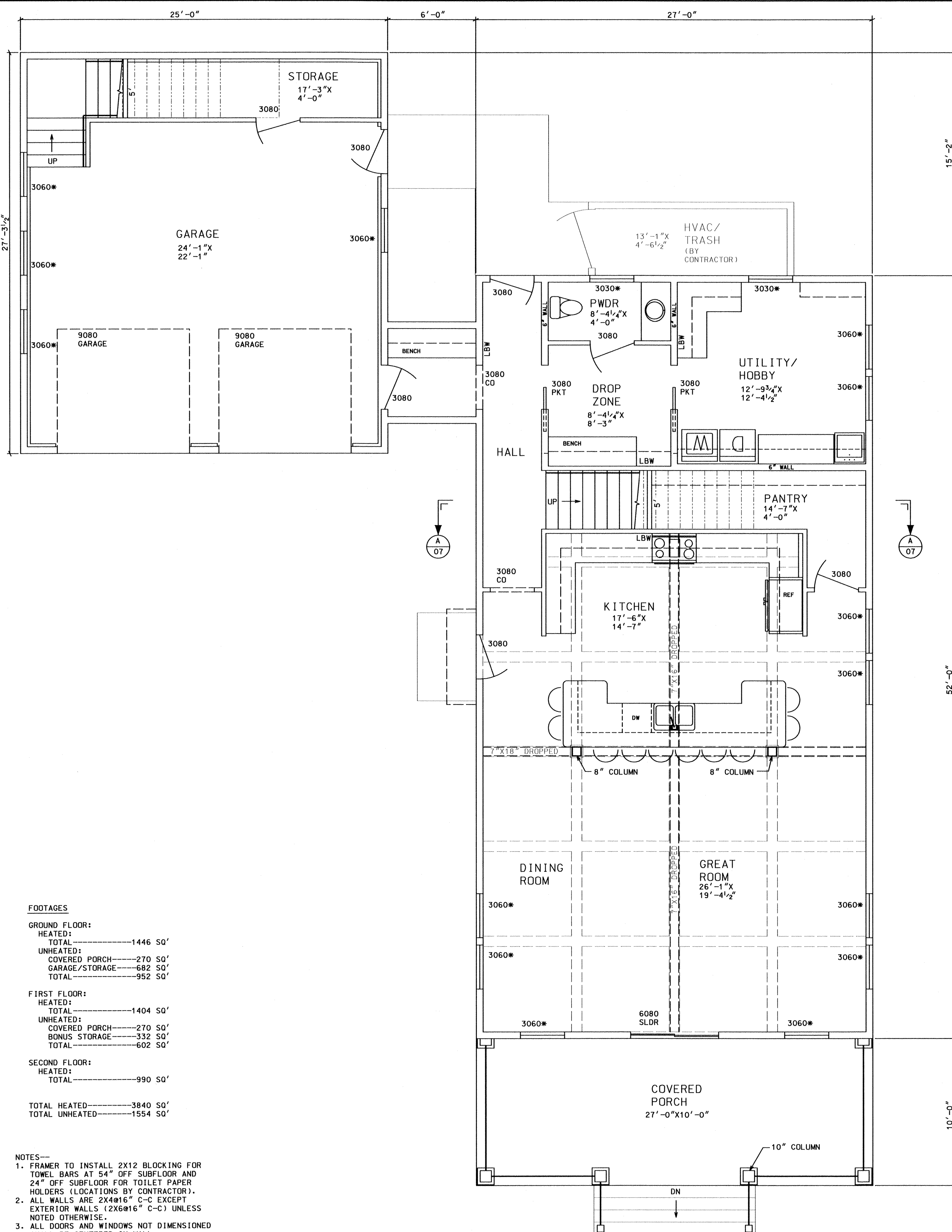
*SEE OWNER LIST



ROOF

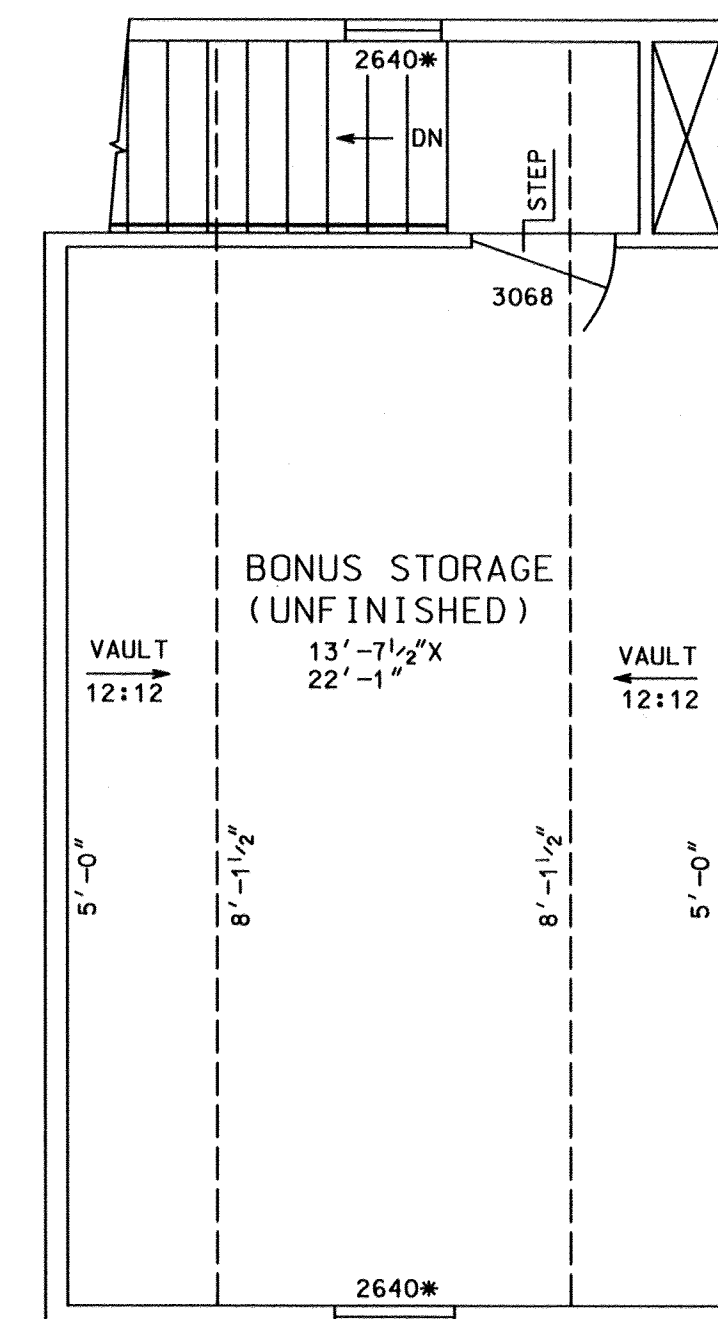
*SEE OWNER LIST

- NOTES--
- FRAMER TO INSTALL 2X12 BLOCKING FOR TOWEL BARS AT 54" OFF SUBFLOOR AND 24" OFF SUBFLOOR FOR TOILET PAPER HOLDERS (LOCATIONS BY CONTRACTOR).
 - ALL WALLS ARE 2X4@16" C-C EXCEPT EXTERIOR WALLS (2X6@16" C-C) UNLESS NOTED OTHERWISE.
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 - WALLS ARE DRAWN TO ACTUAL SIZES (E.G. 3 1/2" FOR 2X4, 5 1/2" FOR 2X6).
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 - ALL WINDOWS ARE DOUBLE HUNG TYPE UNLESS NOTED OTHERWISE.



GROUND FLOOR

*SEE OWNER LIST

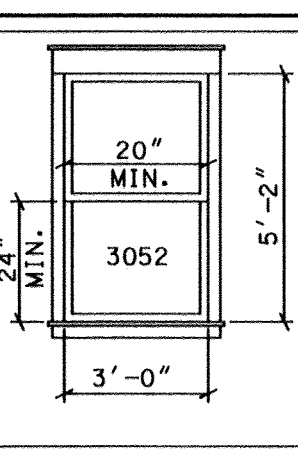


FIRST FLOOR

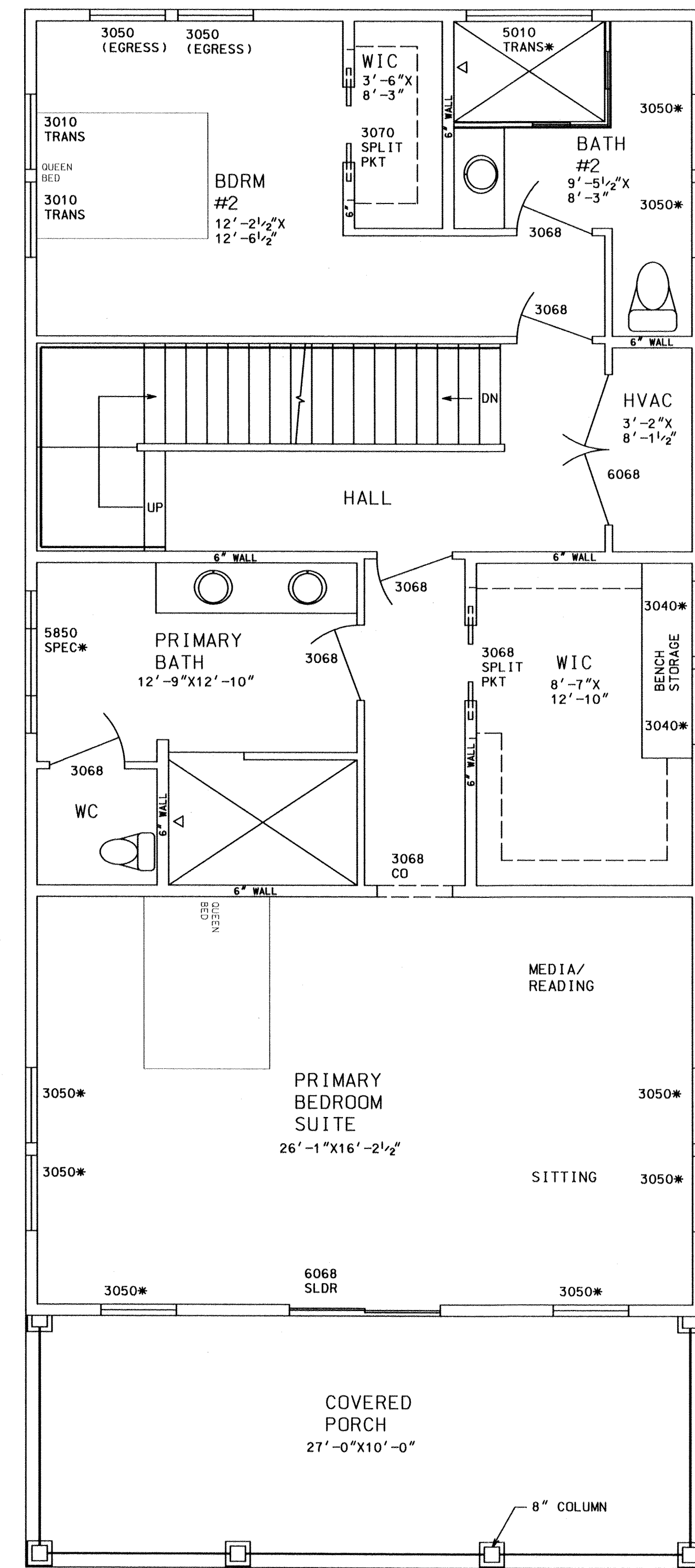
*SEE OWNER LIST

WINDOW EGRESS REQUIREMENT

ALL WINDOW SIZES (EXAMPLE 3052 = 3'-0" X 5'-2") REPRESENT SASH SIZES. CONFIRM THAT WINDOWS SELECTED WILL MEET 2021 IRC SECTION R310.2 EGRESS REQUIREMENTS (FOR BEDROOMS) OF CLEAR OPENABLE AREA OF 5.7 SQ. FT. (MINIMUM 5.0 SQ. FT. FOR WINDOWS ON GRADE FLOOR). CLEAR OPENABLE WIDTH OF 20" AND CLEAR OPENABLE HEIGHT OF 24". SILL HEIGHT ABOVE FLOOR TO BE 44" OR LESS.



ALL ROOM SIZES NOTED ARE APPROXIMATE MAJOR INTERIOR DIMENSIONS AND ARE FOR GENERAL REFERENCE ONLY. ACTUAL/FINAL SIZES TO BE GOVERNED BY DIMENSIONED PLANS.



ISSUED FOR REVIEW	06/27/23	10/05/23
	06/30/23	10/10/23
	10/03/23	XX/XX/XX

ISSUED FOR CONSTRUCTION	10/18/23
-------------------------	----------

REV. 1	XX/XX/XX
REV. 2	XX/XX/XX
REV. 3	XX/XX/XX
REV. 4	XX/XX/XX

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LOT 182, COMMANDERS ISLAND ROAD
SOUTH ISLAND PLANTATION

GEORGETOWN CONSTRUCTION SERVICES, INC.

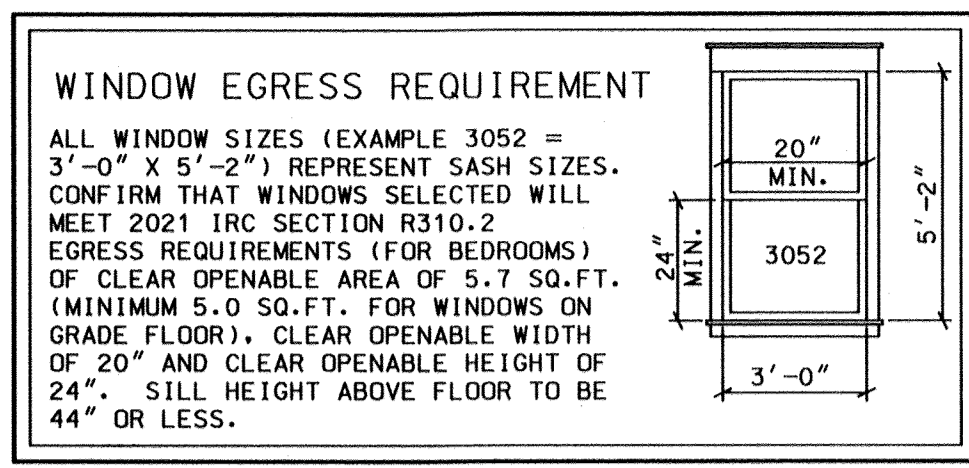


LOCATION
GEORGETOWN, SC

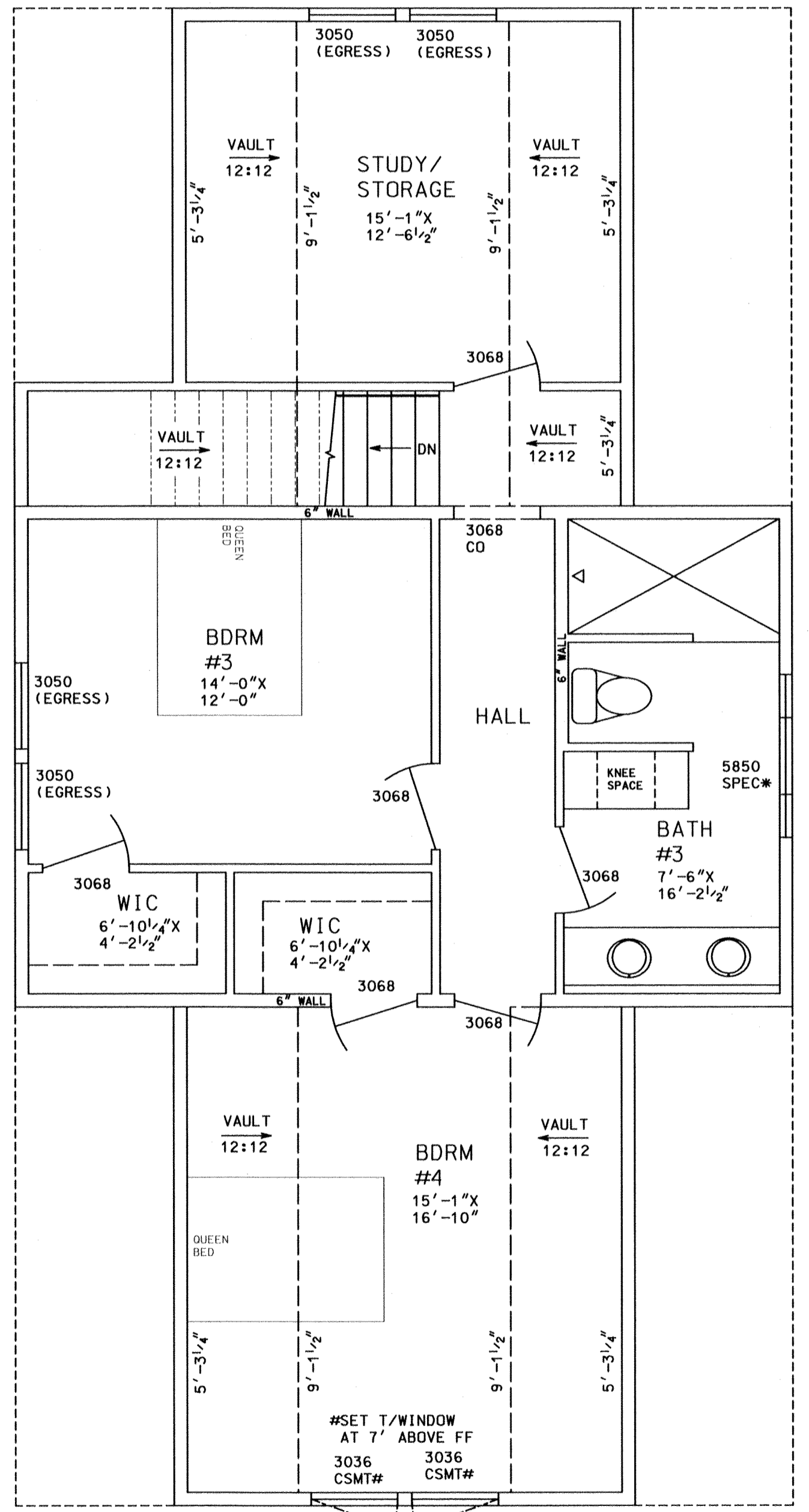
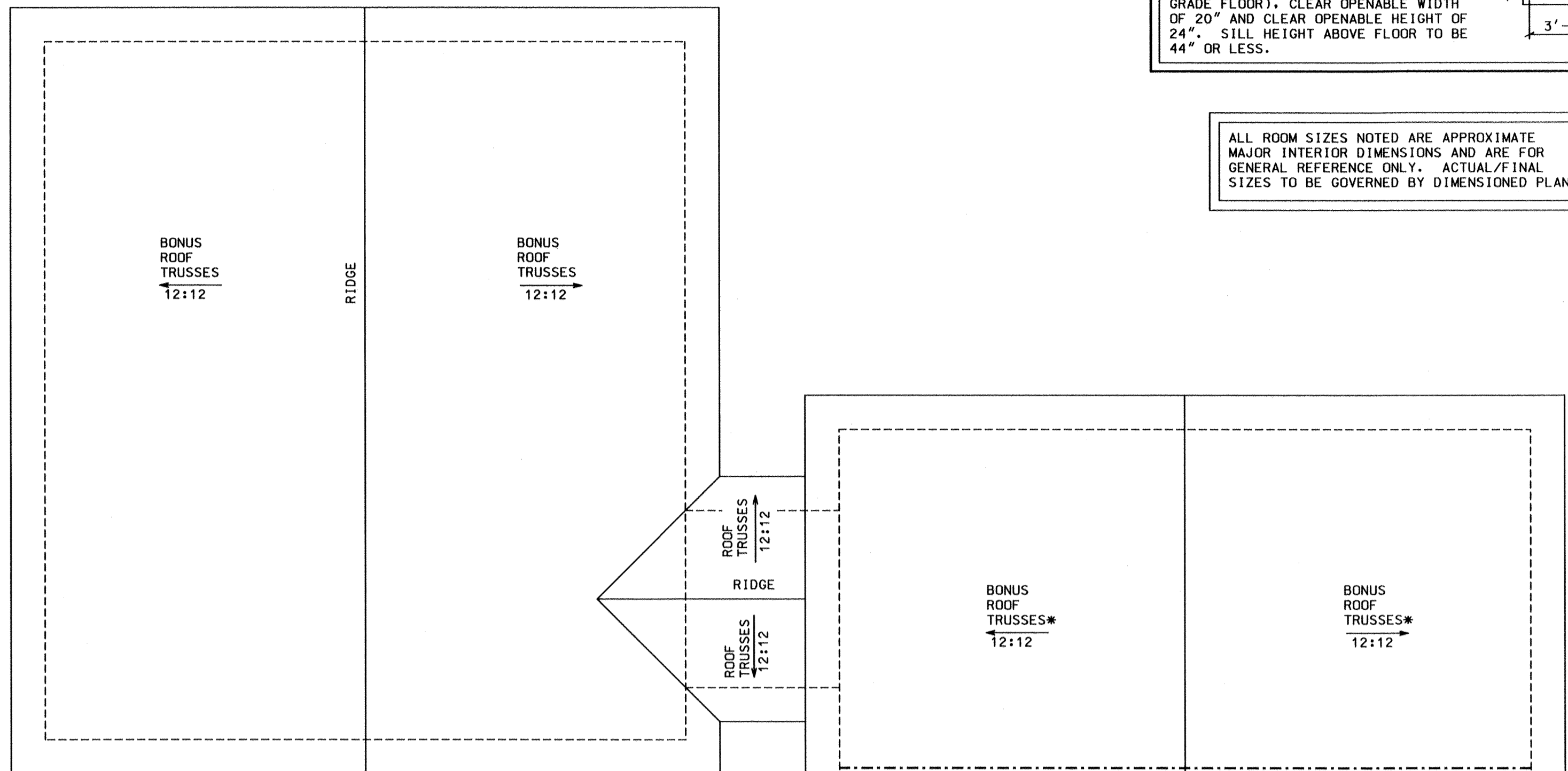
SCALE
1/4"=1'-0"

DRAWN BY
WRT

DWG. NO.
03A



ALL ROOM SIZES NOTED ARE APPROXIMATE MAJOR INTERIOR DIMENSIONS AND ARE FOR GENERAL REFERENCE ONLY. ACTUAL/FINAL SIZES TO BE GOVERNED BY DIMENSIONED PLANS.



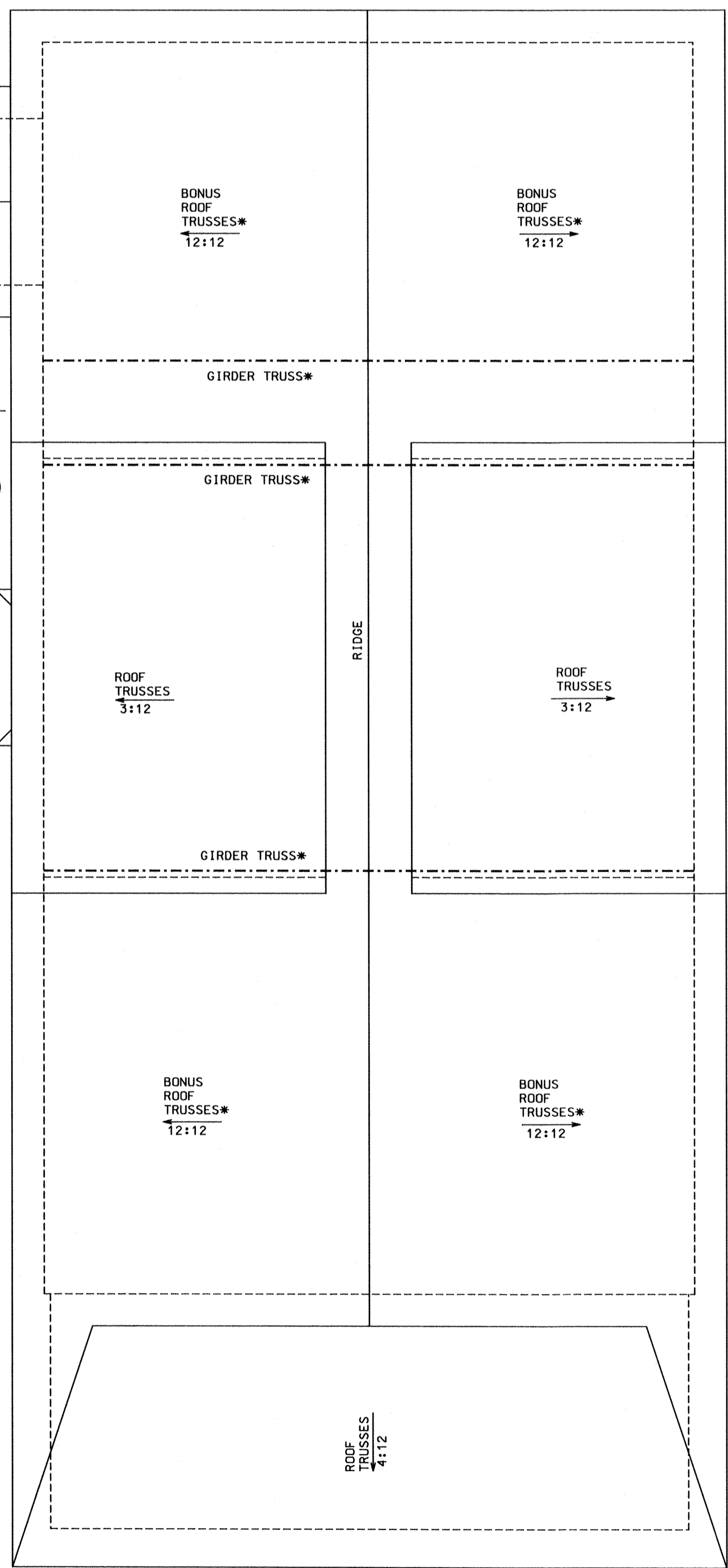
SECOND FLOOR

*SEE OWNER LIST

- NOTES--
- FRAMER TO INSTALL 2X12 BLOCKING FOR TOWEL BARS AT 54" OFF SUBFLOOR AND 24" OFF SUBFLOOR FOR TOILET PAPER HOLDERS (LOCATIONS BY CONTRACTOR).
 - ALL WALLS ARE 2X4@16" C-C EXCEPT EXTERIOR WALLS (2X6@16" C-C) UNLESS NOTED OTHERWISE.
 - ALL DOORS AND WINDOWS NOT DIMENSIONED SHALL BE CENTERED IN WALL.
 - WALLS ARE DRAWN TO ACTUAL SIZES (E.G. 3 1/2" FOR 2X4, 5 1/2" FOR 2X6).
 - PROVIDE MINIMUM 1/4" FT SLOPE AWAY FROM MAIN HOUSE FOR ALL FRAMED PORCHES AND 1/8" FT SLOPE AWAY FROM MAIN HOUSE FOR ALL CONCRETE PORCHES.
 - ALL WINDOWS ARE DOUBLE HUNG TYPE UNLESS NOTED OTHERWISE.

ROOF

*SEE OWNER LIST



ISSUED FOR REVIEW	06/27/23 06/30/23 10/03/23	10/05/23 10/10/23 XX/XX/XX
ISSUED FOR CONSTRUCTION	10/18/23	
REV. 1	XX/XX/XX	
REV. 2	XX/XX/XX	
REV. 3	XX/XX/XX	
REV. 4	XX/XX/XX	

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A SPEC RESIDENCE FOR
ANDREW DAWSON
LOT 182, COMMANDERS ISLAND ROAD
SOUTH ISLAND PLANTATION

GEORGETOWN CONSTRUCTION SERVICES, INC.



249 PINKNEY ROAD
P. O. BOX 415
GEORGETOWN, SC 29442
PHONE (843) 546-4431

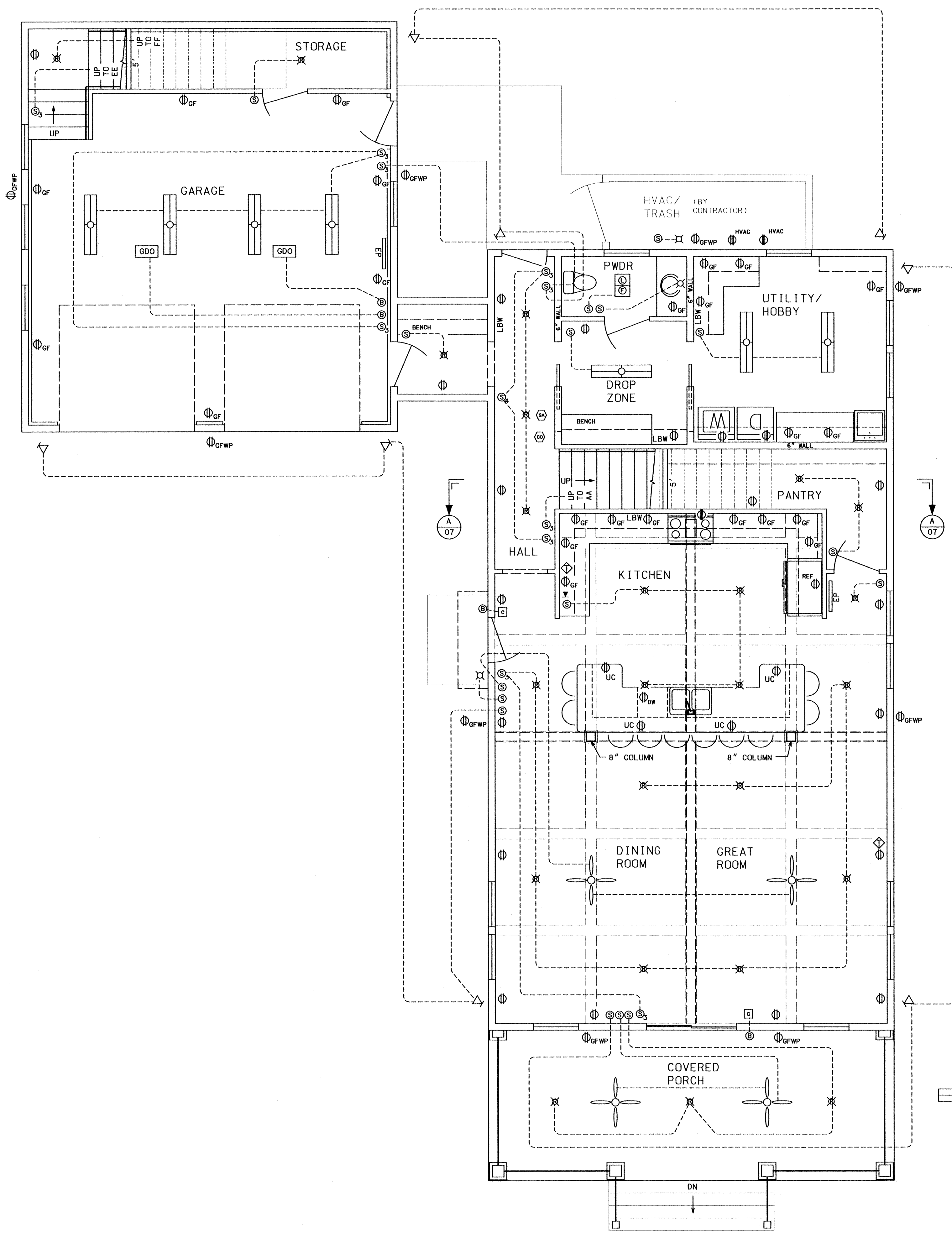
LOCATION
GEORGETOWN, SC

SCALE
1/4" = 1'-0"

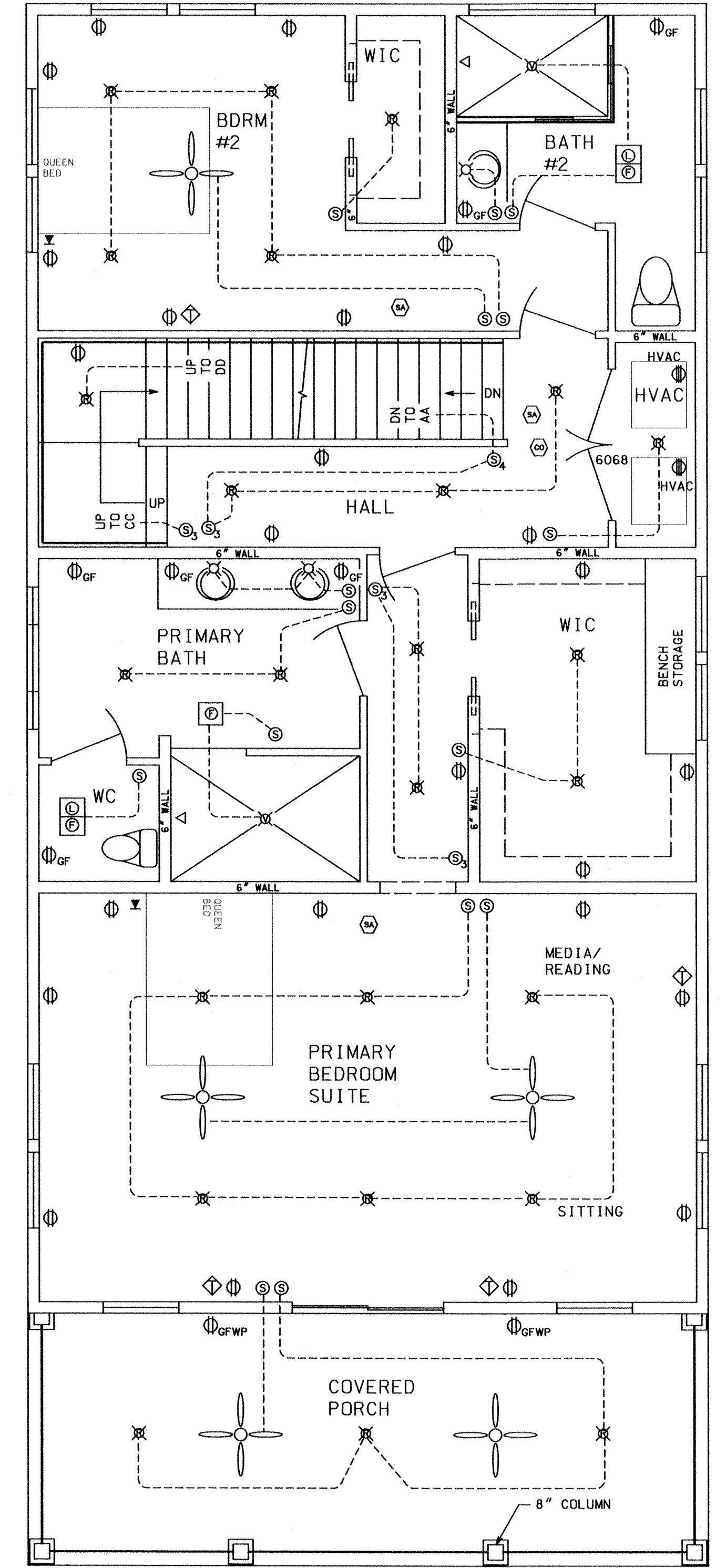
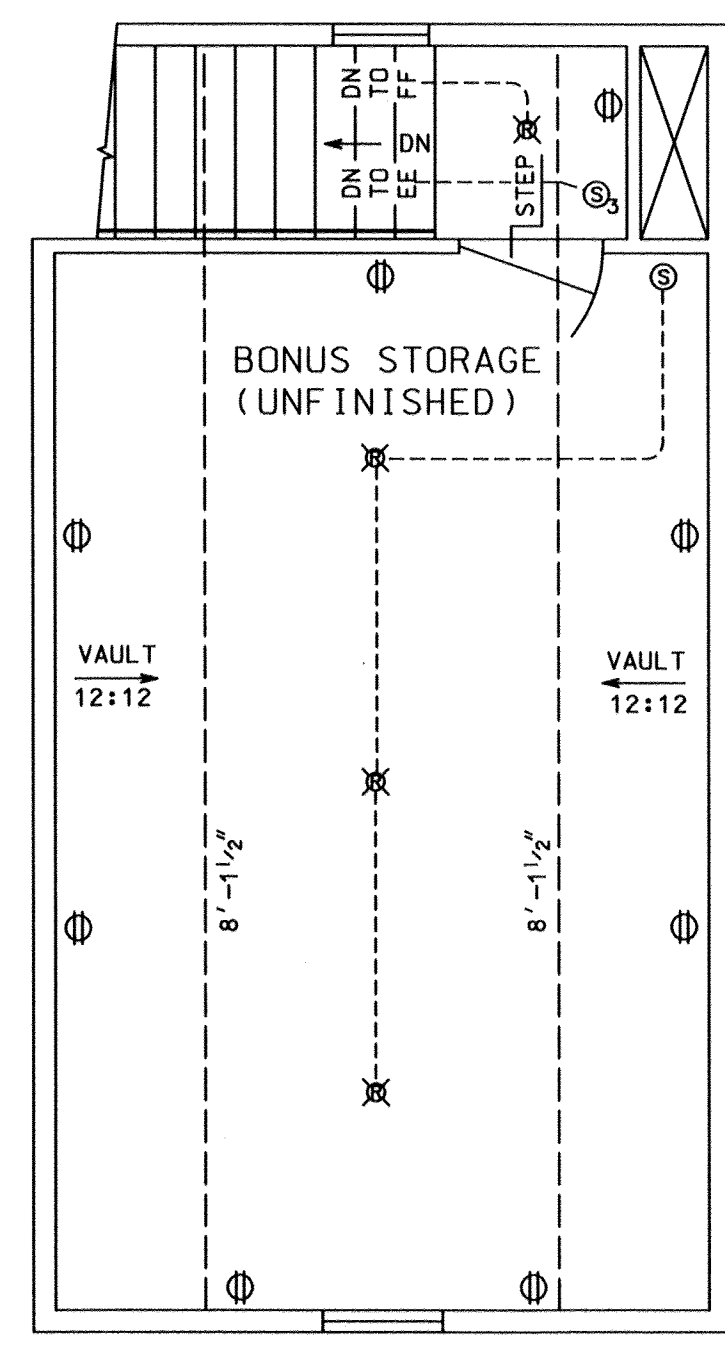
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DWG. NO.

04A



GROUND FLOOR SUGGESTED ELECTRICAL PLAN



FIRST FLOOR SUGGESTED ELECTRICAL PLAN

ELECTRICAL LEGEND

- ANY ELECTRICAL ITEMS NOT SHOWN IN LEGEND WILL BE SPECIFIED ON ELECTRICAL PLAN.
- SOME ITEMS SHOWN MAY NOT BE USED.
- ELECTRICAL PLAN SHOWN IS FOR SUGGESTED LAYOUT. PLAN IS SUBJECT TO CHANGE BY OWNER/CONTRACTOR WITH APPROVAL BY GOVERNING JURISDICTIONS.

	LIGHT		CEILING FAN
	RECESSED LIGHT		110V GROUND FAULT
	VAPOR PROOF LIGHT		110V GROUND FAULT WEATHER PROTECTED
	SWITCH		110V OUTLET
	3 WAY SWITCH		220V OUTLET
	4 WAY SWITCH		TV OUTLET
	FLOOD LIGHT		TELEPHONE JACK
	LED/FLUORESCENT LIGHT		SMOKE ALARM (INTERCONNECT ALL ALARMS)
	ELECTRICAL PANEL		CARBON MONOXIDE (CO) ALARM
	REMOTE BUTTON SWITCH		BATH FAN/LIGHT
	CHIME		EXHAUST FAN
	GARAGE DOOR OPENER		

NOTE—PROVIDE LIGHT WITH SWITCH AND MINIMUM ONE 110V OUTLET AT ALL HVAC EQUIPMENT LOCATIONS IN ADDITION TO REQUIRED HVAC ELECTRICAL SUPPLY.

ISSUED FOR REVIEW	XX/XX/XX	XX/XX/XX
ISSUED FOR CONSTRUCTION	10/18/23	
REV. 1	XX/XX/XX	
REV. 2	XX/XX/XX	
REV. 3	XX/XX/XX	
REV. 4	XX/XX/XX	

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SOUTH ISLAND PLANTATION

GEORGETOWN CONSTRUCTION SERVICES, INC.



249 PINCKNEY ROAD
P. O. BOX 415
GEORGETOWN, SC 29442
PHONE (843) 546-4431

LOCATION
GEORGETOWN, SC

SCALE
1/4"=1'-0"

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DWG. NO.

05

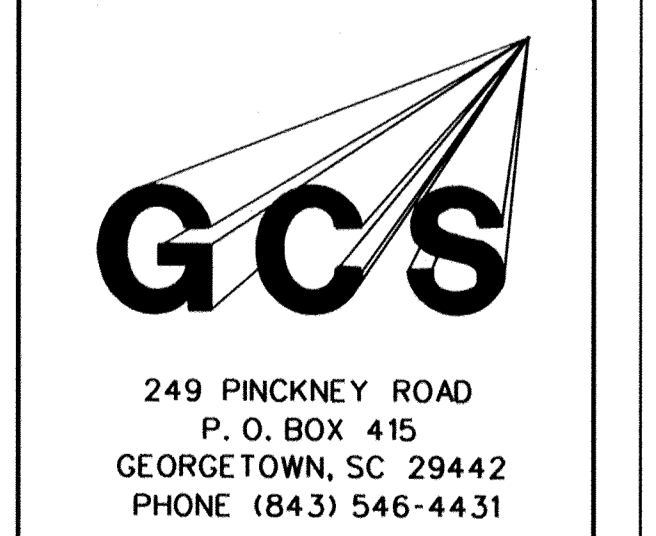
ISSUED FOR REVIEW	XX/XX/XX XX/XX/XX XX/XX/XX	XX/XX/XX XX/XX/XX XX/XX/XX
ISSUED FOR CONSTRUCTION	10/18/23	
REV. 1	XX/XX/XX	
REV. 2	XX/XX/XX	
REV. 3	XX/XX/XX	
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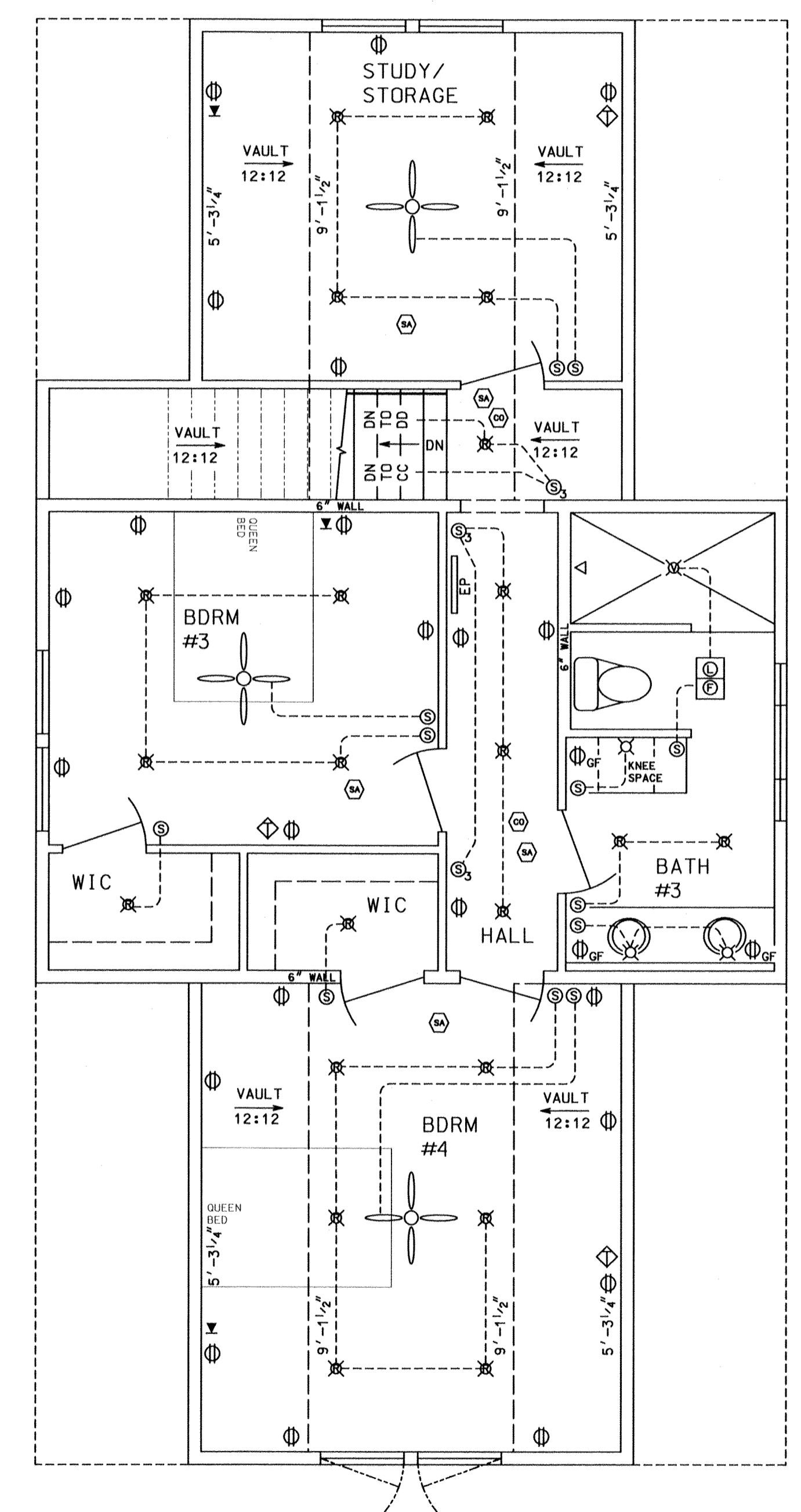


LOCATION
GEORGETOWN, SC

SCALE
1/4" = 1'-0"

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WRT

DWG. NO.
06



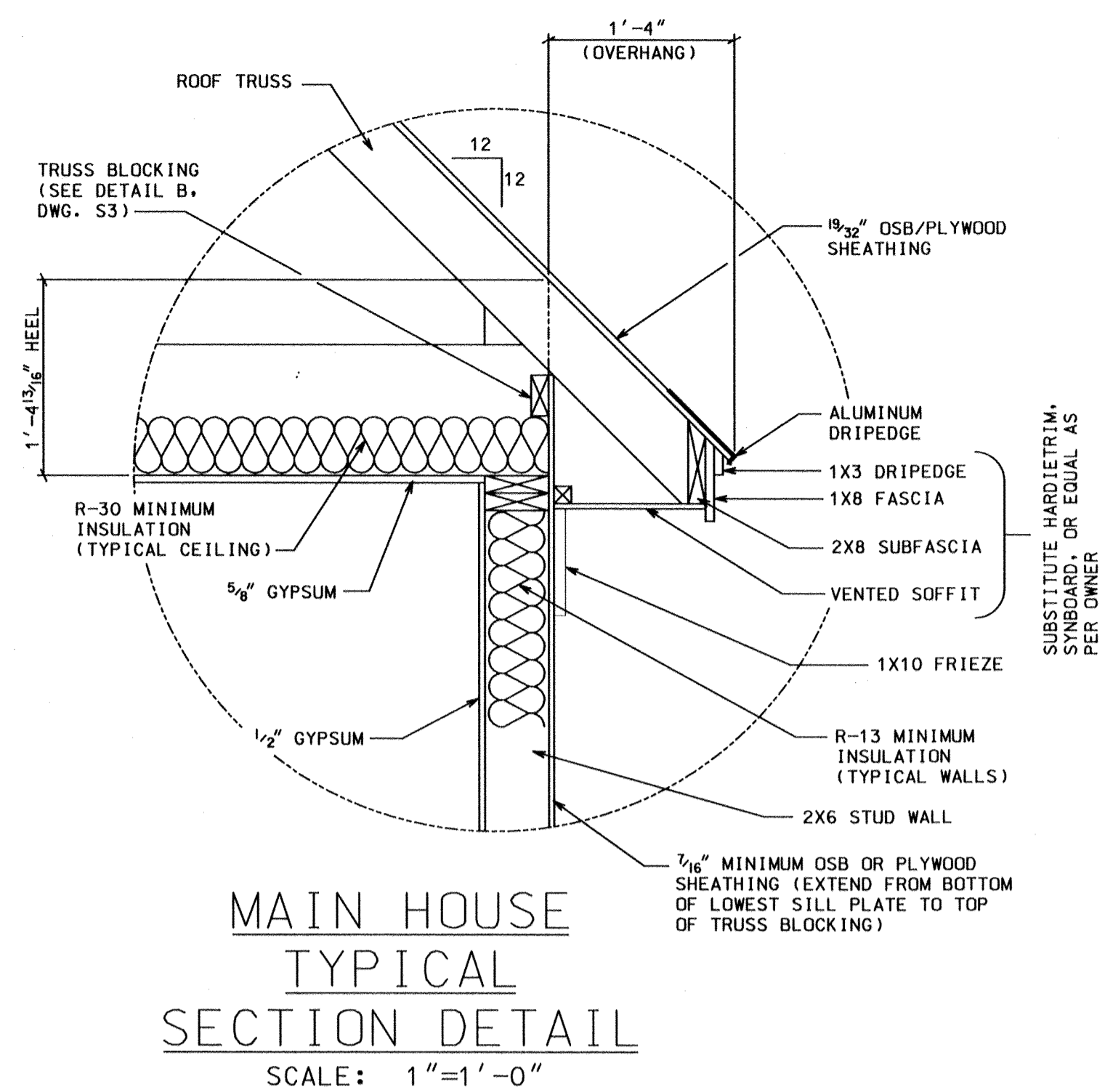
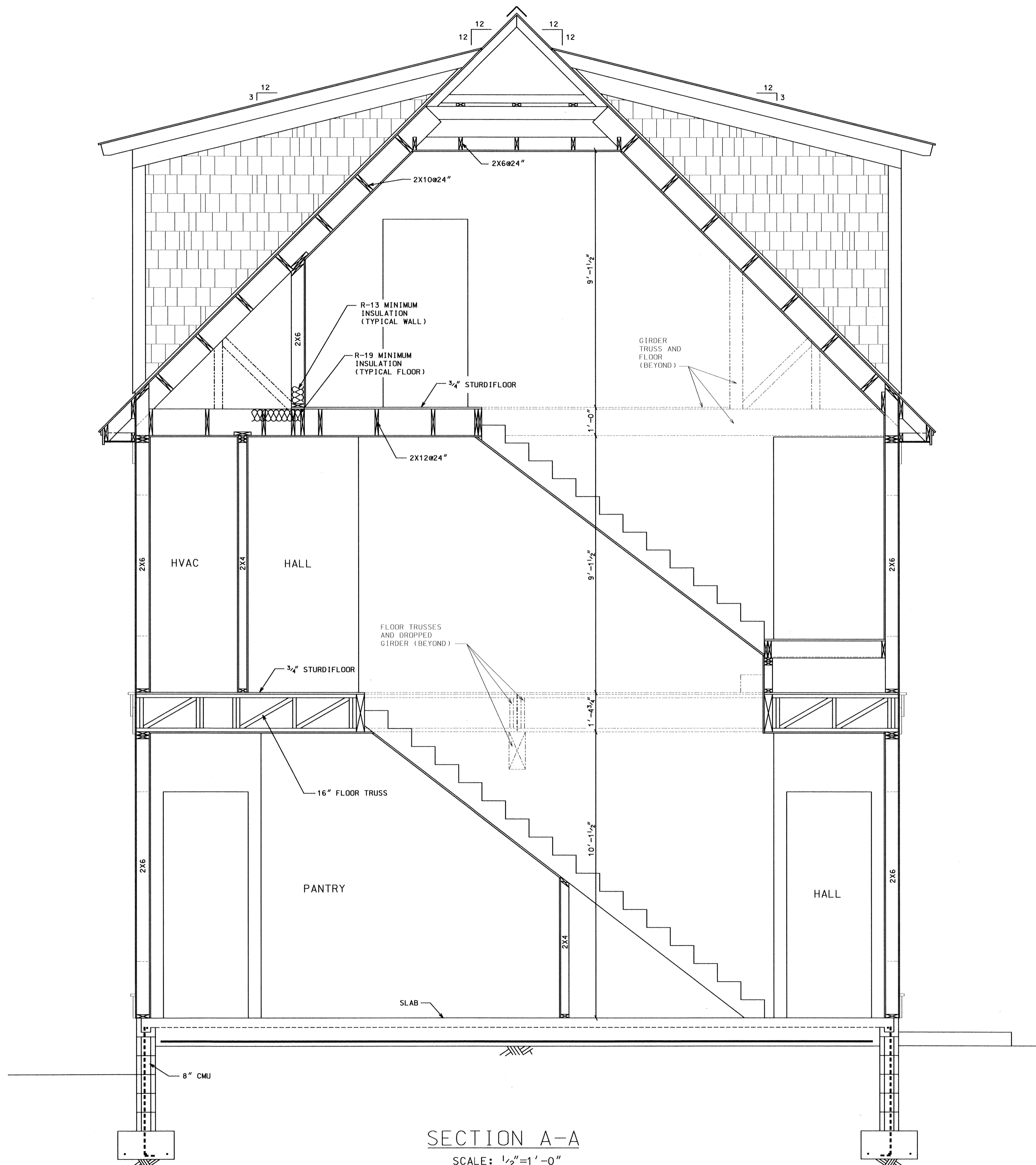
ELECTRICAL LEGEND

- ANY ELECTRICAL ITEMS NOT SHOWN IN LEGEND WILL BE SPECIFIED ON ELECTRICAL PLAN.
- SOME ITEMS SHOWN MAY NOT BE USED.
- ELECTRICAL PLAN SHOWN IS FOR SUGGESTED LAYOUT. PLAN IS SUBJECT TO CHANGE BY OWNER/CONTRACTOR WITH APPROVAL BY GOVERNING JURISDICTIONS.

	CEILING FAN		110V GROUND FAULT
	LIGHT		110V OUTLET
	RECESSED LIGHT		TV OUTLET
	VAPOR PROOF LIGHT		TELEPHONE JACK
	SWITCH		SMOKE ALARM (INTERCONNECT ALL ALARMS)
	3 WAY SWITCH		CARBON MONOXIDE (CO) ALARM
			BATH FAN/LIGHT

NOTE—PROVIDE LIGHT WITH SWITCH AND MINIMUM ONE 110V OUTLET AT ALL HVAC EQUIPMENT LOCATIONS IN ADDITION TO REQUIRED HVAC ELECTRICAL SUPPLY.

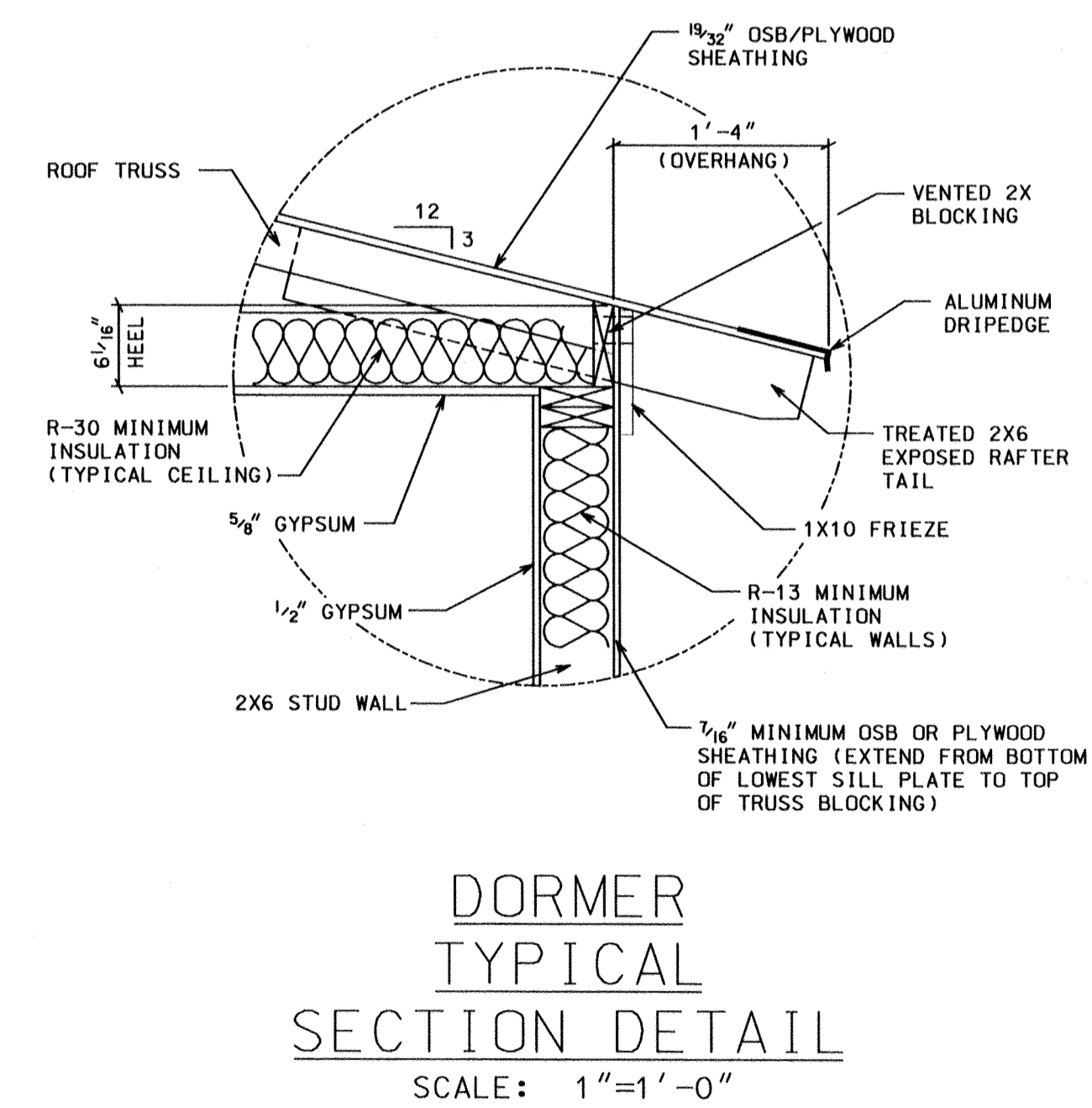
SECOND FLOOR SUGGESTED ELECTRICAL PLAN



ATTIC/ROOF TO BE VENTILATED OR ENCLOSED PER REQUIREMENTS OF SECTION R806 OF THE 2021 IRC.

OTHER INSULATION SYSTEMS MAY BE SUBSTITUTED PER OWNER WITH APPROVAL BY GOVERNING JURISDICTIONS FOR USE IN ACCORDANCE WITH THE 2021 IRC AND 2009 IECC.

ALL REQUIRED FLASHING, SEALANTS, AND OTHER MOISTURE PROOFING OR RESISTANT SYSTEMS TO BE SPECIFIED BY CONTRACTOR OR OTHERS.



STRUCTURAL MEMBERS AND SIZES IDENTIFIED IN SECTION ARE INTENDED TO CONVEY GENERAL INFORMATION AND ARRANGEMENT ONLY AND ARE SUBJECT TO CHANGE. SEE ENGINEERING FOR SPECIFIC STRUCTURAL INFORMATION.

ISSUED FOR REVIEW	06/27/23 06/30/23 10/03/23	10/05/23 10/10/23 XX/XX/XX
ISSUED FOR CONSTRUCTION	10/18/23	
REV. 1	XX/XX/XX	
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REV. 4	XX/XX/XX	

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LOT 182, COMMANDERS ISLAND ROAD
SOUTH ISLAND PLANTATION

GEORGETOWN
CONSTRUCTION
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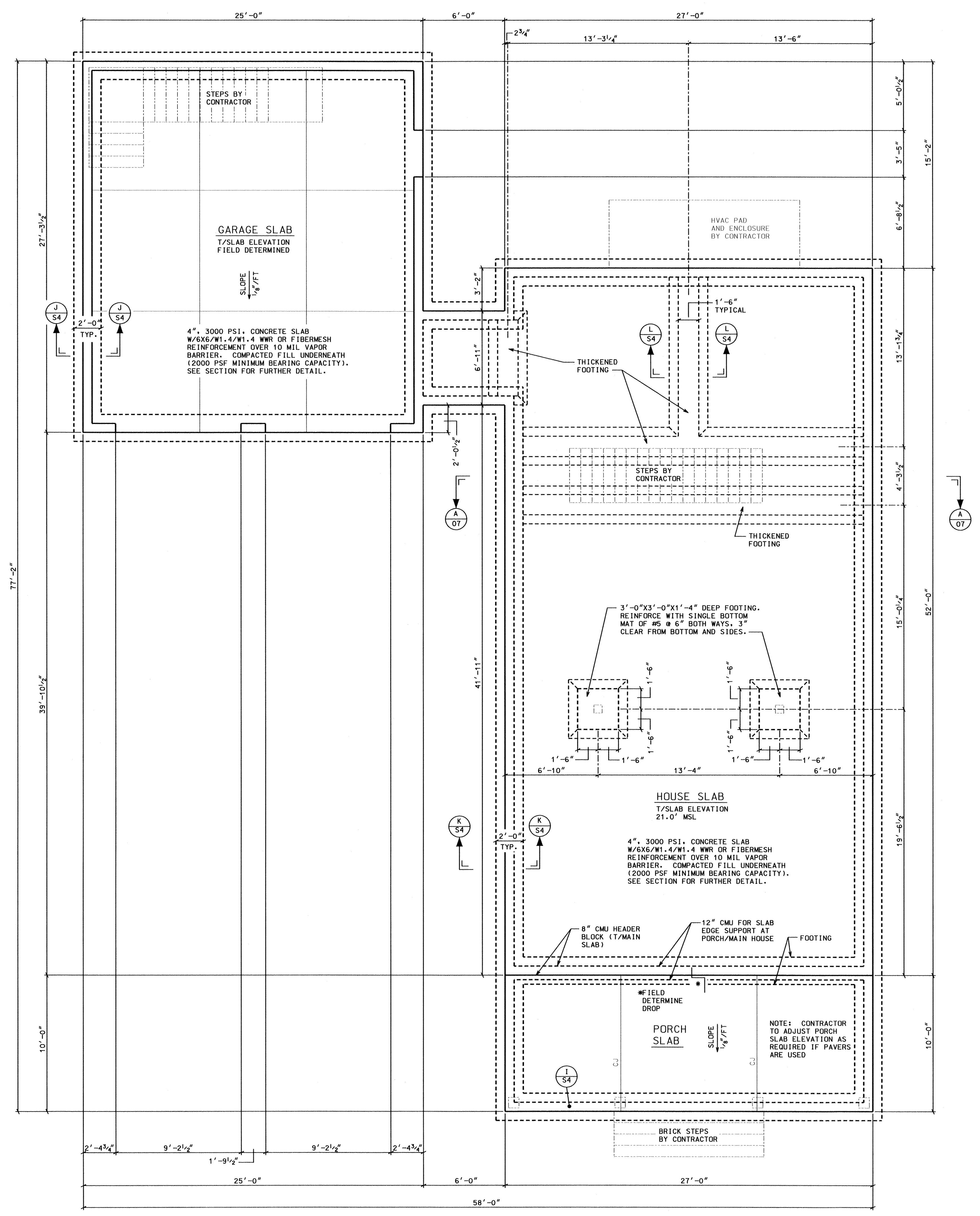
249 PINCKNEY ROAD
P. O. BOX 415
GEORGETOWN, SC 29442
PHONE (843) 546-4431

LOCATION
GEORGETOWN, SC

SCALE
NOTED

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DWG. NO.



FOUNDATION PLAN

- GENERAL NOTES---**
- ENGINEER'S DESIGN IS FOR FOUNDATION DETAIL ONLY. DESIGN IS FOR DRAWING AS STAMPED. ANY ALTERATIONS ARE THE RESPONSIBILITY OF THE PARTIES INVOLVED AND MAY VOID ENGINEERED DESIGN.
 - REFERENCE DRAWING S2-S4 FOR ADDITIONAL DETAIL AND INFORMATION.
 - ELEVATIONS ARE TO BE FIELD DETERMINED WHERE NOT NOTED. ELEVATIONS TO BE VERIFIED BY REGISTERED LAND SURVEYOR TO MEET CURRENT FLOOD ZONE REQUIREMENTS AS REQUIRED PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO SAWCUT SLAB CONTROL JOINTS ON MAXIMUM 10' GRID EACH WAY FOLLOWING CONCRETE PLACEMENT.
 - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO INSTALLATION. DISCREPANCIES SHALL BE RESOLVED AS NEEDED WITH ENGINEER BEFORE PROCEEDING.
 - CONTRACTOR TO ADJUST ROUGH DOOR OPENINGS AS REQUIRED BY MANUFACTURER'S RECOMMENDATION. DIMENSIONS SHOWN ARE NOMINAL DOOR SIZES PLUS 5" (INCLUDES 3" FOR 2X PLATES EACH SIDE) EXCEPT GARAGE DOOR (PLUS 3").
 - ADJUST PORCH SLAB HEIGHT AS REQUIRED IF PAVERS ARE USED.

ISSUED FOR REVIEW	XX/XX/XX	XX/XX/XX
ISSUED FOR CONSTRUCTION	10/18/23	
REV. 1	XX/XX/XX	
REV. 2	XX/XX/XX	
REV. 3	XX/XX/XX	
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 LOT 182, COMMANDERS ISLAND ROAD
 SOUTH ISLAND PLANTATION

GEORGETOWN CONSTRUCTION SERVICES, INC.

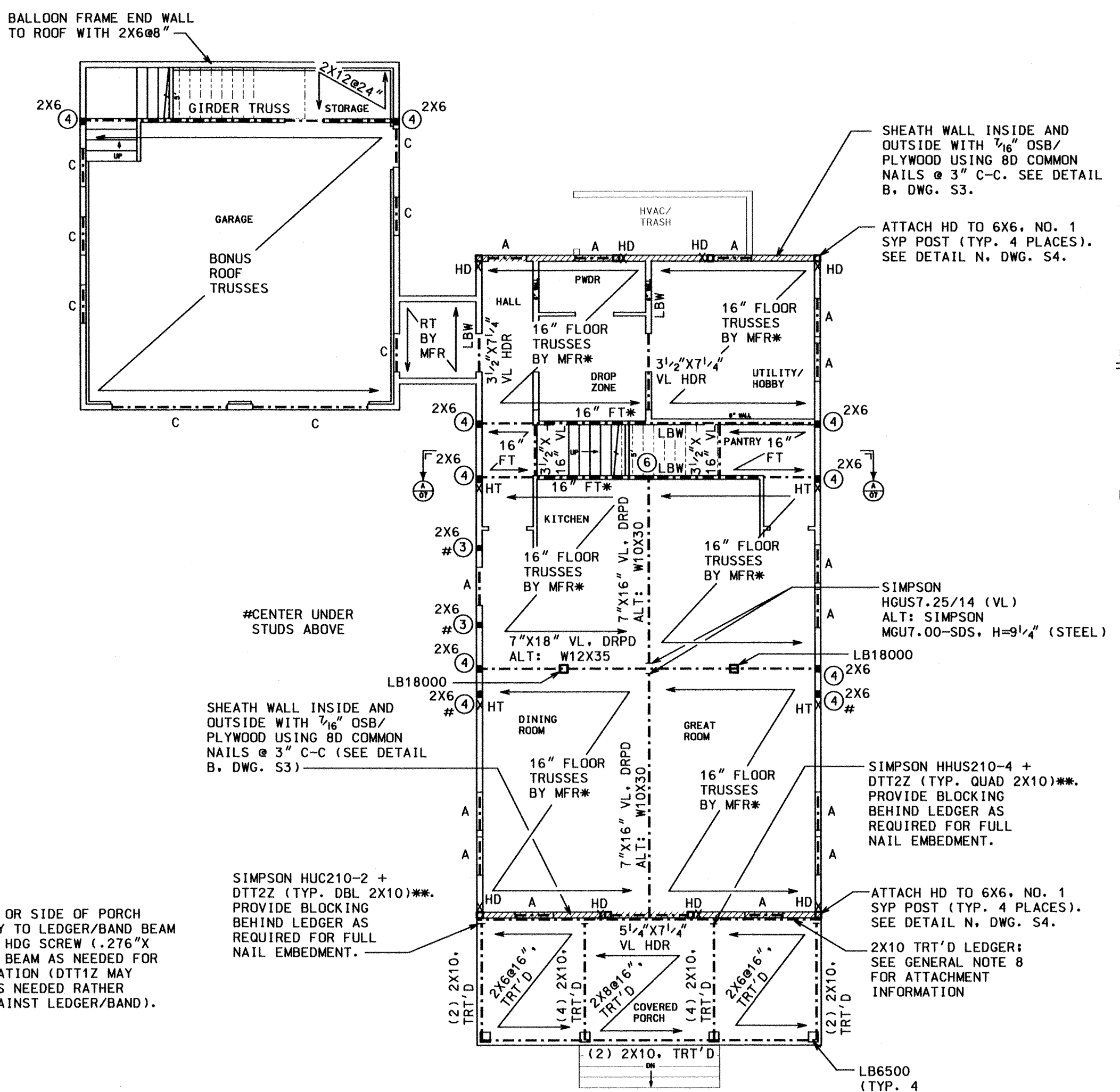
249 PINCKNEY ROAD
 P. O. BOX 415
 GEORGETOWN, SC 29442
 PHONE (843) 546-4431

LOCATION
 GEORGETOWN, SC

SCALE
 1/4" = 1'-0"

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 WRT

DWG. NO.
 S1



GROUND FLOOR CEILING
*SEE OWNER LIST

FRAMING PLAN
SCALE: 1/8"=1'-0"

- LEGEND**
- (X) MINIMUM NUMBER OF LOAD BEARING STUDS (2X4 NO. 2 SPF UNLESS NOTED OTHERWISE); ATTACH STUDS TO EACH OTHER WITH MINIMUM (2) ROWS OF 10d COMMON NAILS @ 12" CENTER-TO-CENTER (STAGGER NAILS AT EACH ROW AND ALTERNATE ROWS FROM STUD TO STUD)
 - LBXXXX LOAD BEARING COLUMN—MINIMUM CAPACITY XXXX LBS
ALTERNATE: MINIMUM 4X4, NO. 2 SYP (UP TO 4500 LBS); 6X6, NO. 2 SYP (UP TO 14000 LBS); 8X8, NO. 2 SYP (UP TO 25000 LBS)
 - LBW LOAD BEARING WALL (SEE DETAIL A/G/L, DWG. S3/S4)
 - HD SIMPSON HDU14/HD12 HOLDOWN (SEE DETAIL N, DWG. S4)
 - HT SIMPSON HTS HOLDOWN WITH 5/8"x14" ANCHOR BOLT (SEE DETAIL M, DWG. S4)

HEADER SCHEDULE

(NOTE—ALL SIZES MAY NOT BE USED)

HDR	SIZE
A	(2) 2X6 + 1/8" OSB/PLYWOOD
B	(2) 2X8 + 1/8" OSB/PLYWOOD
C	(2) 2X10 + 1/8" OSB/PLYWOOD
D	(2) 2X12 + 1/8" OSB/PLYWOOD

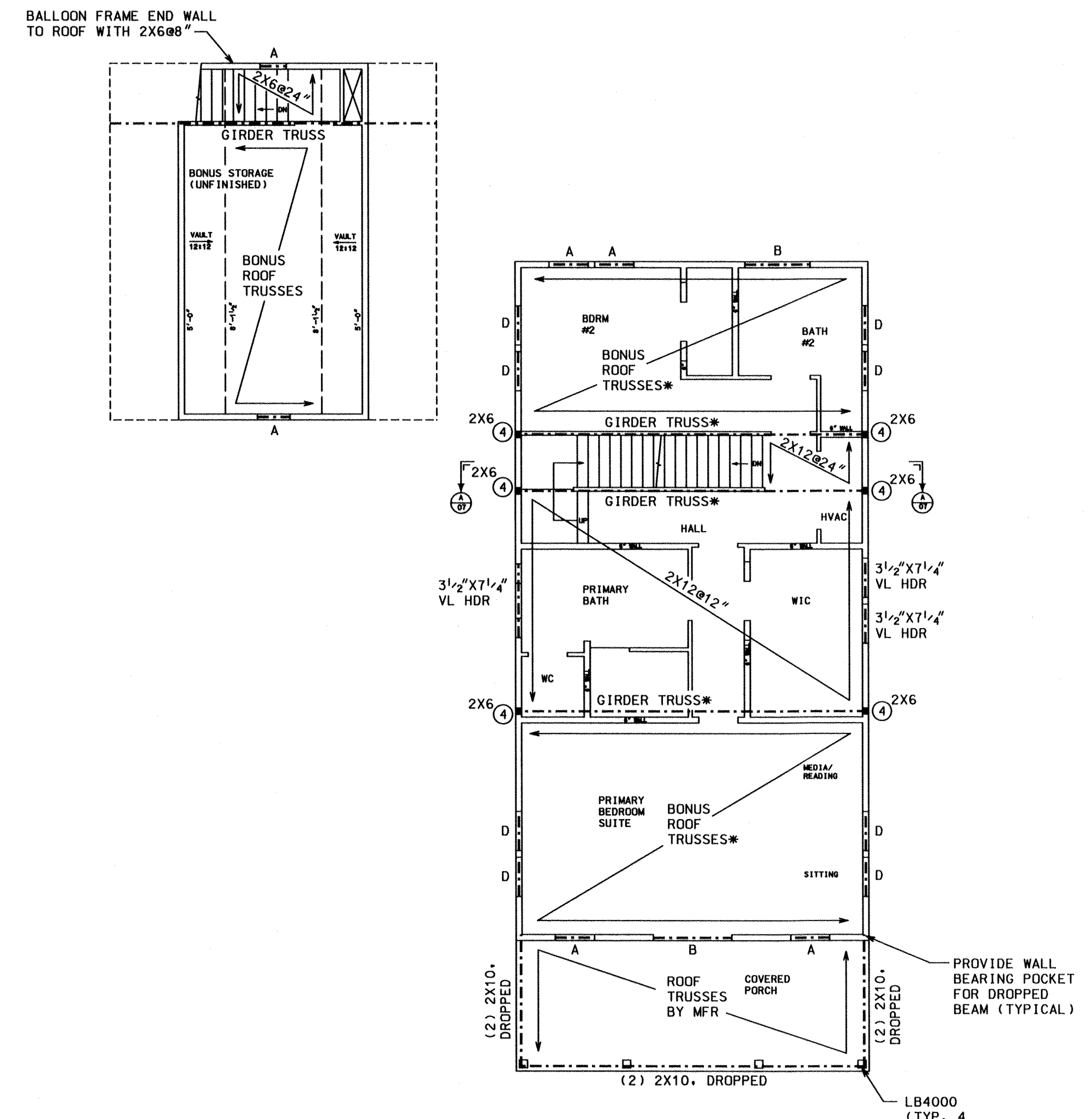
OTHER LOAD BEARING HEADER SIZES SHALL BE AS NOTED. INTERIOR NON LOAD BEARING WALLS SHALL USE LADDER FRAMED HEADERS OR (2) 2X4 + 1/8" OSB/PLYWOOD. BLOCK OUT HEADERS AS NEEDED FOR OTHER THAN 2X4 NOMINAL WALLS.

JACK/KING SCHEDULE

NO. JACKS	NO. KINGS	LENGTH
1	1	UP TO 5'
2	2	OVER 5' TO 10'
3	3	OVER 10' TO 15'
4	4	OVER 15' TO 20'

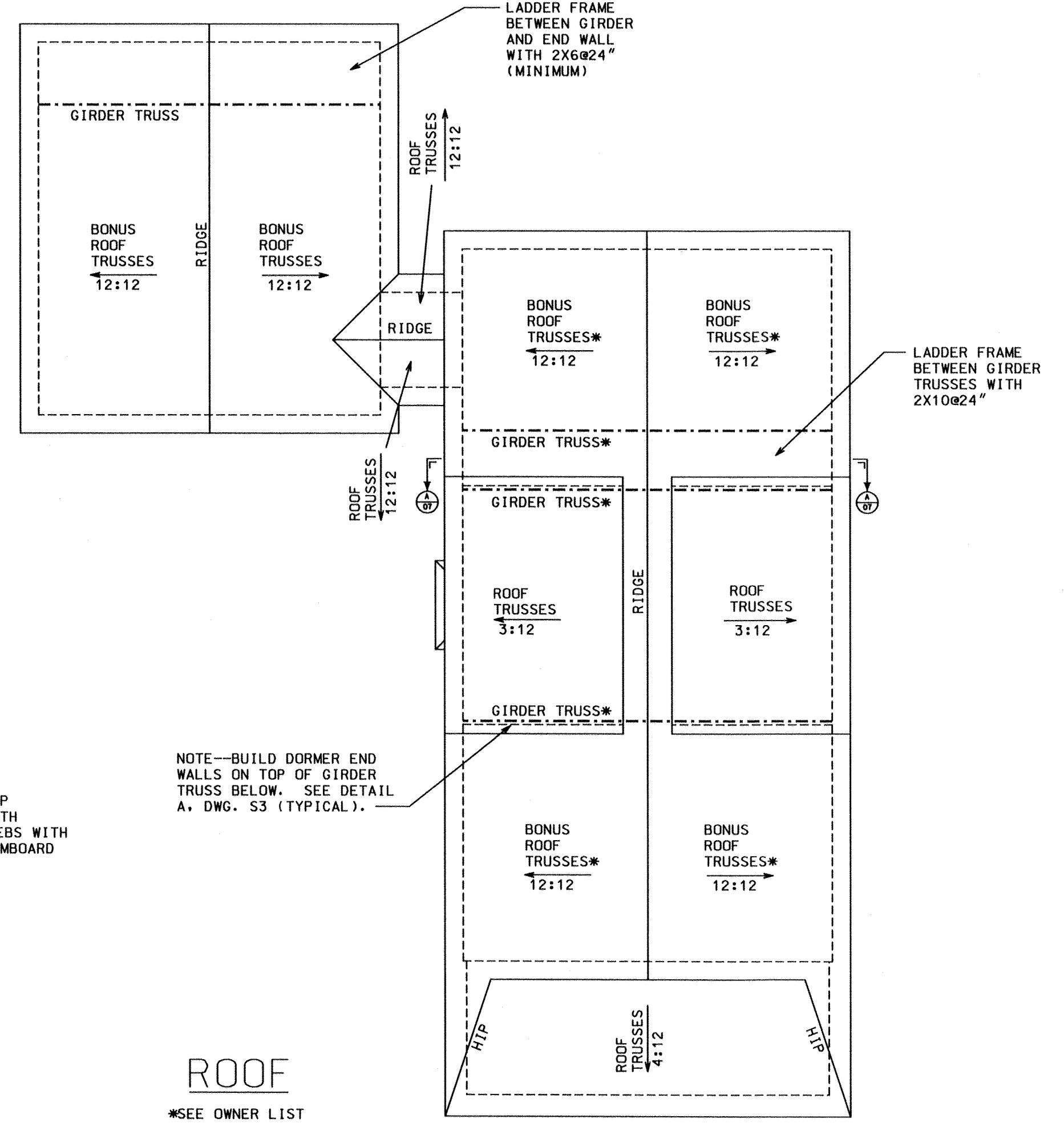
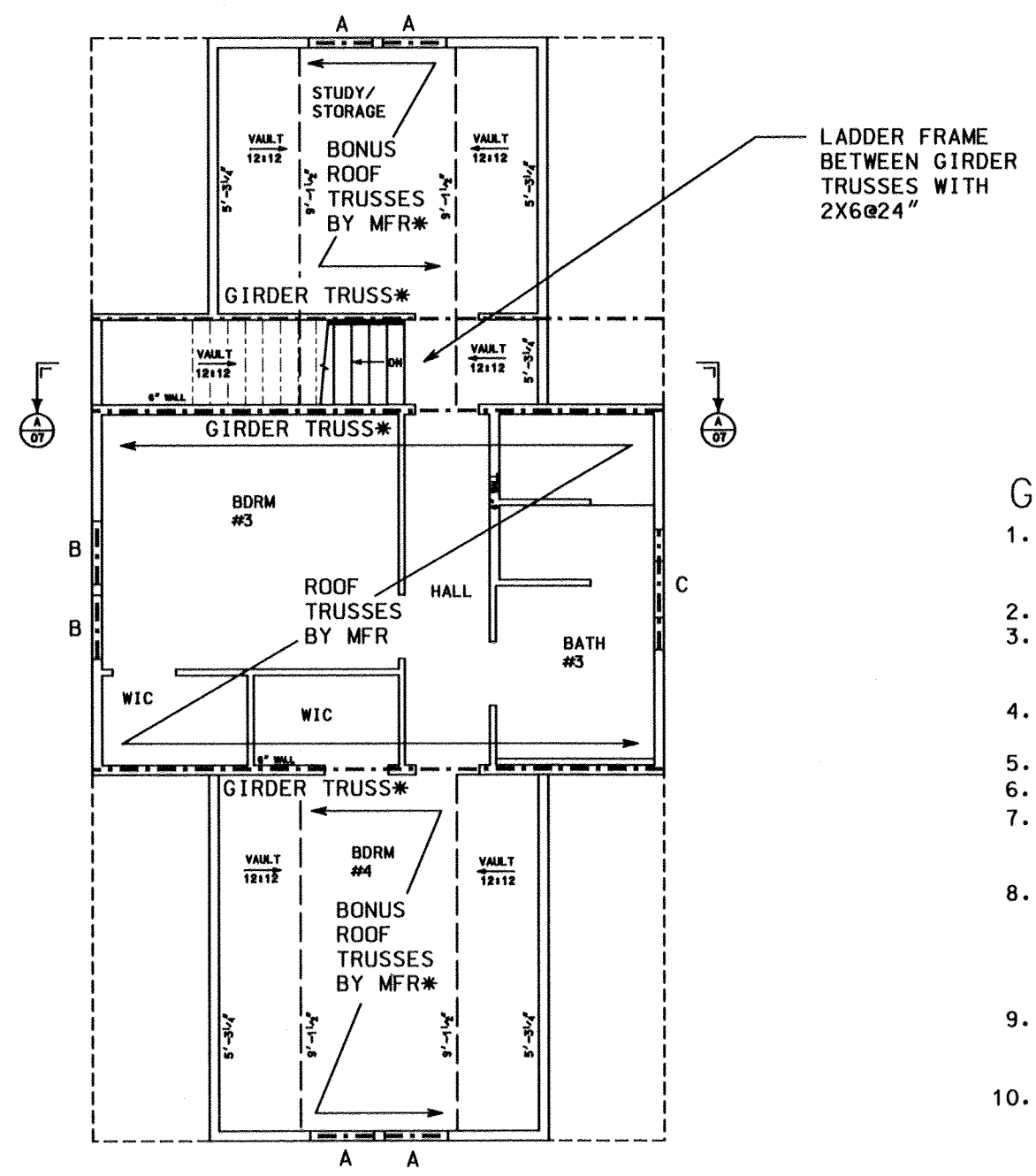
NOTE—EXCEPTIONS AS NOTED ON FRAMING PLANS. ATTACH STUDS TO EACH OTHER WITH MINIMUM (2) ROWS OF 10d COMMON NAILS @ 12" CENTER-TO-CENTER (STAGGER NAILS AT EACH ROW AND ALTERNATE ROWS FROM STUD TO STUD).

ALL TRUSS DESIGNS TO BE BY TRUSS SUPPLIER WITH LOAD BEARING WALLS, BEAMS, STUDS, AND COLUMNS AS SHOWN. CONTACT ENGINEER TO RESOLVE CONFLICTS WITH OR CHANGES TO LAYOUT AS SHOWN.



FIRST FLOOR CEILING
*SEE OWNER LIST

SECOND FLOOR CEILING
*SEE OWNER LIST

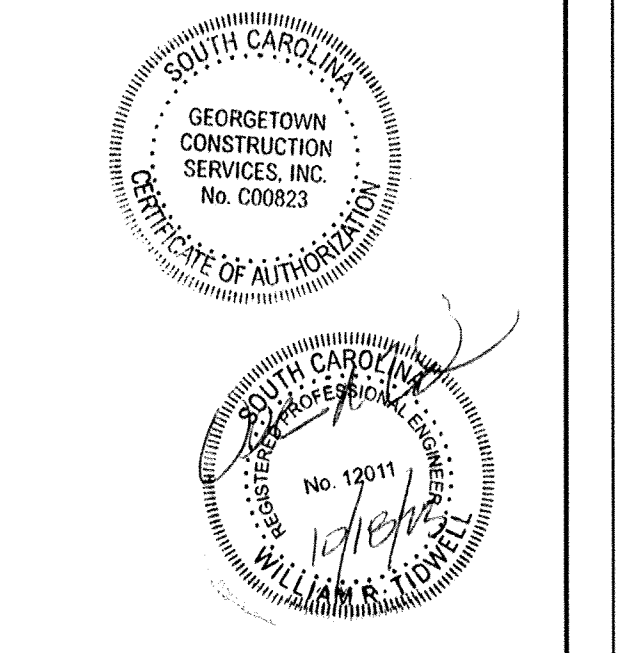


ROOF
*SEE OWNER LIST

GENERAL NOTES--

1. ENGINEER'S DESIGN IS FOR STRUCTURAL DETAIL ONLY AS SHOWN. DESIGN IS FOR DRAWING AS STAMPED. ANY ALTERATIONS ARE THE RESPONSIBILITY OF THE PARTIES INVOLVED AND MAY VOID ENGINEERED DESIGN.
2. REFERENCE DRAWING S1, S3, & S4 AND 07 FOR ADDITIONAL DETAIL AND INFORMATION.
3. PROVIDE SOLID BLOCKING BETWEEN HEADERS/PLATES/BEAMS/COLUMNS UNDER ALL LOAD BEARING GIRDER TRUSSES, COLUMNS, STUDS, AND BEAMS. WHERE REQUIRED, PROVIDE BEARING PLATES UNDER TRUSSES AND BEAMS SIZED BY TRUSS SUPPLIER.
4. ALL EXPOSED WOOD SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AMERICAN WOOD PRESERVERS ASSOCIATION (AWPA) GUIDELINES.
5. FRAME EXTERIOR PORCHES WITH MINIMUM 1/4" PER FOOT SLOPE AWAY FROM HOUSE.
6. USE DOUBLE BAND JOIST/RIM BOARD MATCHING FLOOR JOISTS UNLESS NOTED OTHERWISE.
7. DECK BOARDS, IF USED, SHALL BE INSTALLED PERPENDICULAR TO FLOOR JOISTS. PROVIDE 2X4 SLEEPERS BETWEEN DECKING AND JOISTS IF DECKING TO PARALLEL WITH JOISTS IS DESIRED.
8. ANCHOR ALL DECK FLOORS TO MAIN HOUSE WITH A SINGLE LEDGER PLACED AT DESIRED DROP BELOW MAIN HOUSE FINISHED FLOOR LEVEL. ATTACH LEDGER TO HOUSE BAND/RIMBOARD WITH (2) ROWS OF SIMPSON SDS25500 SCREWS (1/4"x5") @ 8" MAXIMUM OR TO END TRUSS WEBS WITH (6) SIMPSON SDS25500 SCREWS @ 24" MAXIMUM BETWEEN GROUPINGS. BLOCK OUT BAND/RIMBOARD AS NEEDED FOR FULL SCREW PENETRATION.
9. SUPPLEMENT PLATE TO KING STUD CONNECTION WITH (2) SIMPSON A35 STRAPS AT TOP AND BOTTOM OF ALL INTERMEDIATE STUD CLUSTERS BETWEEN GANGED WINDOWS UNLESS NOTED OTHERWISE.
10. SEE DETAIL D, DWG. S4, FOR ALTERNATE STEEL BEAM DETAILS.

ISSUED FOR REVIEW	XX/XX/XX	XX/XX/XX
ISSUED FOR CONSTRUCTION	XX/XX/XX	10/18/23
REV. 1	XX/XX/XX	
REV. 2	XX/XX/XX	
REV. 3	XX/XX/XX	
REV. 4	XX/XX/XX	



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LOT 182, COMMANDERS ISLAND ROAD
SOUTH ISLAND PLANTATION

GEORGETOWN CONSTRUCTION SERVICES, INC.



249 PINCKNEY ROAD
P. O. BOX 415
GEORGETOWN, SC 29442
PHONE (843) 546-4431

LOCATION
GEORGETOWN, SC

SCALE
NOTED

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WRT

DWG. NO.
S2

SEE ALSO DWG. S1, S3, S4

NOTES

GENERAL

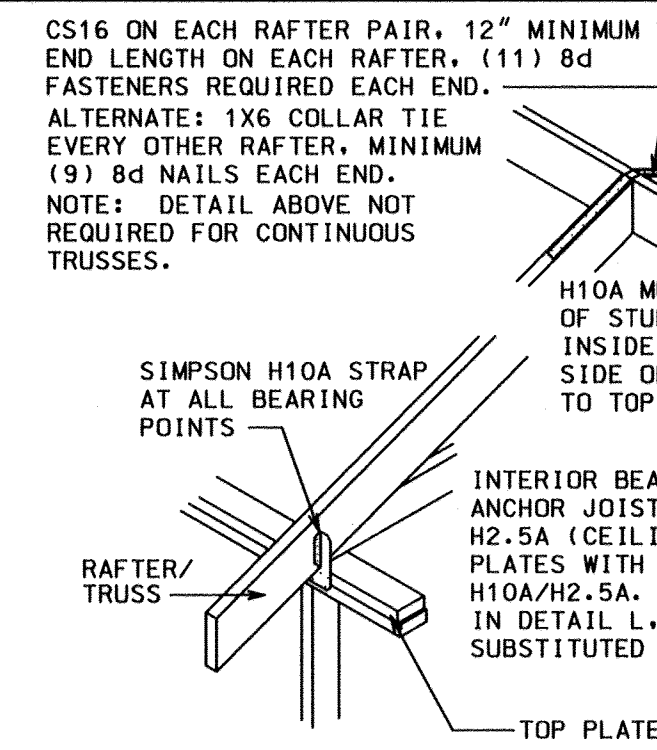
- 1. ENGINEER'S DESIGN APPLIES TO DRAWINGS ONLY AS SEALED. DESIGNS ARE FOR THE STRUCTURAL SYSTEM ONLY AND ARE INTENDED TO COMPLY WITH THE PROVISIONS DICTATED BY THE 2021 ISSUE OF THE "INTERNATIONAL RESIDENTIAL CODE" WITH SOUTH CAROLINA MODIFICATIONS (2021 IRC). ANY ALTERATIONS SHALL BE THE RESPONSIBILITY OF THE PARTIES INVOLVED AND MAY VOID ENGINEERED DESIGN.
2. CONTRACTOR/ERECTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO INSTALLATION. DISCREPANCIES SHALL BE RESOLVED AS NEEDED WITH ENGINEER BEFORE PROCEEDING.
3. CONTRACTOR/ERECTOR SHALL FOLLOW STANDARD CONSTRUCTION PRACTICES OF THE 2021 IRC EXCEPT AS NOTED.
4. ALL EXPOSED WOOD SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AMERICAN WOOD PRESERVERS ASSOCIATION (AWPA C17/1/44) GUIDELINES. WOOD SHALL BE TREATED FOR ABOVE OR BELOW GROUND USE, WHICHEVER APPLIES.
5. ALL LIGHT GAUGE HARDWARE SHALL HAVE MINIMUM G90 GALVANIZED COATING IN ACCORDANCE WITH ASTM A653 OR BE POST HOT-DIP GALVANIZED IN ACCORDANCE WITH ASTM A123 (CONNECTORS) OR A153 (FASTENERS). UNLESS RECOMMENDED OTHERWISE BY MANUFACTURER, HARDWARE IN CONTACT WITH TREATED WOOD SHALL HAVE A MINIMUM G185 COATING, BE POST HOT-DIP GALVANIZED, OR SHALL BE TYPE 316L STAINLESS STEEL. CONNECTORS AND ANCHORS SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS. ANCHOR BOLTS SHALL BE MINIMUM ASTM F1554, GRADE 36T TREADED BOLTS SHALL BE MINIMUM ASTM A325, ALL THREAD ROD SHALL BE MINIMUM ASTM A36.
6. DESIGN VALUES ARE AS FOLLOWS:
-LIVE LOAD: ROOF 20 PSF
ATTIC 10-20 PSF
FLOOR 40 PSF
-WIND:
150 MPH (v-w11; ASCE 7-16/2021 IRC); EXPOSURE B;
RISK CATEGORY II; GC=0.18
NOTE: WIND LOADS ARE BASED ON INTACT ENCLOSED STRUCTURE EXCEPT FOR COMPONENTS NORMALLY OPEN (DECKS, PORCHES, ETC.).
-SEISMIC:
SITE-GEORGETOWN COUNTY, SC; SITE CLASS D; Ie=1.0
S=0.90; S1=0.30; S2=0.30; S3=0.30
RISK CATEGORY III; SEISMIC DESIGN CATEGORY D2
BASIC STRUCTURAL SYSTEM-BEARING WALL SYSTEM
SEISMIC RESISTING SYSTEM-LIGHT FRAMED WALLS WITH WOOD SHEAR PANELS
RESPONSE MODIFICATION FACTOR (Rp)=2
ANALYSIS PROCEDURE-SIMPLIFIED ANALYSIS PROCEDURE
8. ALL EXTERIOR SYSTEMS (ROOFING, SHUTTERS, SOFFITS, ETC.) SHALL BE RATED FOR 150 MPH PER ASCE 7-16. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION. DOORS AND WINDOWS SHALL MEET A MINIMUM DESIGN PRESSURE RATING OF DP50 (EXPOSURE B), DP65 (EXPOSURE C), OR DP75 (EXPOSURE D) PER ASCE 7-16. ADDITIONAL TIES SHALL BE PLACED AT 24" ON CENTER OR LESS WITHIN 12" OF ANY WALL OPENINGS GREATER THAN 16" IN WIDTH OR HEIGHT. TIES SHALL BE ANCHORED INTO WOOD STUDS USING 10d COMMON NAILS OR EMBEDDED INTO GROUT JOINTS ON MASONRY WALLS.
9. REFER TO 2021 IRC TABLE 702.3.5 FOR MINIMUM THICKNESS, APPLICATION, ATTACHMENT, AND FRAMING SPACING FOR GYPSUM BOARD. SEE ALSO "ENDWALL/CEILING CONNECTION" DETAIL.
10. CORRUGATED SHEET METAL MASONRY VENEER TIES SHALL BE A MINIMUM OF NO. 22 GAUGE X 1/2", SPACED NO MORE THAN 32" ON CENTER HORIZONTALLY AND 24" ON CENTER VERTICALLY, SUPPORTING A MAXIMUM OF 2 SQUARE FEET (IRC 703.6.4.1). ADDITIONAL TIES SHALL BE PLACED AT 24" ON CENTER OR LESS WITHIN 12" OF ANY WALL OPENINGS GREATER THAN 16" IN WIDTH OR HEIGHT. TIES SHALL BE ANCHORED INTO WOOD STUDS USING 10d COMMON NAILS OR EMBEDDED INTO GROUT JOINTS ON MASONRY WALLS.
11. ALL REQUIRED FLASHING, SEALANTS, AND OTHER MOISTURE PROOFING OR RESISTANT SYSTEMS TO BE SPECIFIED BY ARCHITECT, CONTRACTOR, OR OTHERS.

FRAMING

- 1. FLOOR, CEILING, ROOF, AND WALL FRAMING SHALL BE SYP OR SPF, GRADE 2 OR BETTER, SIZE AND SPACING AS SHOWN ON ARCHITECTURAL DRAWINGS UNLESS NOTED OTHERWISE. EXTERIOR WALLS SHALL BE A MINIMUM OF 2X4@16" (TO 9'-4 1/2" CEILING HEIGHT), 2X4@12"/2X6@16" (TO 10'-4 1/2" CEILING HEIGHT), 2X4, SELECT STRUCTURAL@2X6@16" (TO 12'-0 1/2" CEILING HEIGHT), 2X6@12"/2X6, #1@16" (TO 14'-4 1/2" CEILING HEIGHT), AND 2X6@16" (TO 16'-0" CEILING HEIGHT) UNLESS NOTED OTHERWISE.
2. CONNECTIONS SHALL BE PER IRC STANDARD FASTENING SCHEDULES UNLESS NOTED OTHERWISE.
3. FLOOR OPENINGS, WALL PENETRATIONS, AND OTHER FRAMING TO BE IN ACCORDANCE WITH IRC STANDARD PRACTICES IF NOT NOTED OTHERWISE.
4. SEE "FLOOR SHEATHING & CONSTRUCTION DETAIL E" FOR FLOOR FRAMING DETAIL. PROVIDE DECK LATERAL LOAD RESTRAINT WITH (2) TENSION TIES WITH A MINIMUM CAPACITY OF 1500 POUNDS OR (4) TENSION TIES WITH A MINIMUM CAPACITY OF 750 POUNDS. INSTALL TENSION TIES PER FIGURE R502.9.2 (1) OR (2), 2021 IRC.
5. ERECTOR SHALL PROVIDE PROPER BLOCKING AND SUPPORT FOR ALL WALLS RUNNING PARALLEL TO JOISTS.
6. CENTER ALL JOIST/GIRDER SPLICES OVER LOAD BEARING SUPPORT (I.E. STEMWALL, COLUMN, PILE, PIER, ETC.).
7. TRUSSES (WHERE SUPPLIED) SHALL BE DESIGNED BY MANUFACTURER. FOLLOW MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION. TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION. MANUFACTURER TO SUBMIT DESIGN SPECIFICATIONS INDICATING DESIGN WIND SPEED (MINIMUM 150 MPH, EXPOSURE B, PER ASCE 7-16), HEIGHT ABOVE GROUND, AND AMOUNT OF UPLIFT AT BEARING POINTS. TRUSSES SHALL BE SPACED NO MORE THAN 24" ON CENTER AND SHALL BE INSTALLED FOR AN ENCLOSED BUILDING PER 2021 IRC/ASCE 7-16. ADJUST CONNECTOR TYPE AND CAPACITY PER MANUFACTURER'S DESIGN IF MORE RESTRICTIVE THAN TRUSS CONNECTOR DETAIL SHOWN. DIVIDE FLOOR TRUSS ASSEMBLIES INTO AREAS OF 1000 SF OR LESS WITH DRAFTSTOPPING.
8. MANUFACTURER/ENGINEERED WOOD PRODUCTS ARE AS FOLLOWS UNLESS NOTED OTHERWISE--WOOD BEAMS (LVL) ARE SINGLE PLY BOISE CASCADE VERSA-LAM 2.0 31001; 1-JOISTS ARE BOISE CASCADE BC1 JOISTS; STUDS ARE BOISE CASCADE VERSA-STUD 1.8E 2650. SUBSTITUTIONS OF OTHER MANUFACTURED BEAMS/JOISTS (PARALLAM, MICROLLAM, GNI, ETC.) OR MULTIPLY BEAMS MUST BE REVIEWED FOR STRENGTH AND DEFLECTION REQUIREMENTS BASED ON INDIVIDUAL MANUFACTURER'S DATA AND MAY NOT BE EQUIVALENT TO BEAMS/JOISTS ORIGINALLY SPECIFIED.
9. STRUCTURAL STEEL SPECIFIED SHALL BE HOT ROLLED ASTM A36/A992 CARBON STEEL (SHAPES, PLATES, BARS); A36/A572, GR. 50 (HP PILES); A500 GR. B/C (STRUCTURAL TUBING); A53 GR. B SMLS OR ERW (PIPE) UNLESS NOTED OTHERWISE. EXPOSED STEEL SHALL BE CLEANED, THEN PAINTED WITH ZINC BASED PRIMER AND (2) COATS EPOXY BASED TOPCOAT.
10. NAILS SPECIFIED SHALL BE COMMON WIRE NAILS OR EQUIVALENT PNEUMATIC (GUN) NAILS UNLESS NOTED OTHERWISE. FOR EXAMPLE, 10d PNEUMATIC NAILS WITH 0.131" SHANK DIAMETER AND 2 1/2" OR GREATER LENGTH SHALL BE EQUIVALENT TO 8d COMMON WIRE NAILS WITH 0.131" SHANK AND 2 1/2" LENGTH.

FOUNDATION/CONCRETE/MASONRY

- 1. SOLID SOIL BEARING CAPACITY TO BE 2000 PSF MINIMUM. REMOVE ORGANIC MATERIAL AND POUR FOOTINGS AND SLAB ON COMPACTED NATURAL GROUND. SOIL ANALYSIS BY QUALIFIED SOIL (GEOTECHNICAL) ENGINEER IS RECOMMENDED, ESPECIALLY IF SOIL IS SUSPECT OR OTHER THAN NATURAL GROUND. SUCH ANALYSIS MAY SHOW REASON TO REDESIGN FOUNDATION.
2. CONCRETE WORK SHALL MEET THE REQUIREMENTS OF ACI 318-19 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE." MINIMUM CONCRETE COMPRESSIVE STRENGTH (F'c) SHALL BE 3000 PSI UNLESS NOTED OTHERWISE.
3. UNLESS NOTED OTHERWISE, REBAR SHALL MEET THE REQUIREMENTS OF ASTM A706, GRADE 60, WITH REBAR SPLICES TIED AND LAPPED A MINIMUM OF 40 DIAMETERS (E.G. 25" FOR #5 REBAR). WELDED WIRE REINFORCEMENT (WWR) SHALL MEET THE REQUIREMENTS OF ASTM A62/A185.
4. CONCRETE BLOCK SHALL MEET THE REQUIREMENTS OF ASTM C90 AND SHALL HAVE A 2000 PSI MINIMUM COMPRESSIVE STRENGTH (F'cm).
5. MORTAR SHALL MEET THE REQUIREMENTS OF ASTM C270, TYPE M OR S.
6. MASONRY SHALL BE ERCTED BY AND MEET THE REQUIREMENTS OF TMS 402-16 "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" AND TMS 602-16 "SPECIFICATION FOR MASONRY STRUCTURES".
7. PROVIDE WARRANTED TERMITE TREATMENT PER IRC PRIOR TO CONCRETE PLACEMENT.



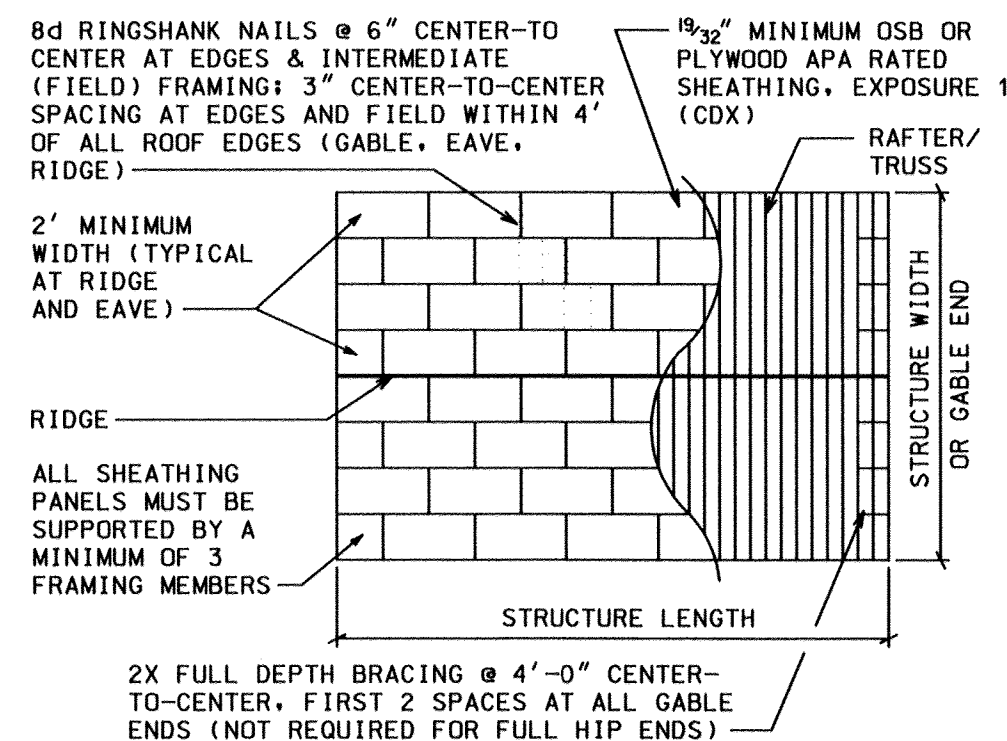
NOTE:

- 1. USE SIMPSON MTS12/HCP2/HCP1.81 WHERE H10A CANNOT BE USED (GABLE END, HIP, ETC.).
2. USE MINIMUM (4) SIMPSON MTS20/LSTA18 STRAPS AT ALL BEARING POINTS OF MULTIPLY TRUSSES (IF ANY) TO ANCHOR TO STUD CLUSTERS/BEAMS BELOW. SIMPSON LG2/LG3 STRAP MAY BE SUBSTITUTED FOR (2) MTS20 STRAPS ON 2/3 PLY TRUSSES. SEE NOTE 5 BELOW.
3. USE MINIMUM (4) SIMPSON MTS20/LSTA18 STRAPS AT ALL BEARING POINTS OF ROOF/CEILING/FLOOR SUPPORT BEAMS TO ANCHOR TO STUD CLUSTERS/BEAMS BELOW.
4. USE MINIMUM (4) SIMPSON CS16 STRAPS (MINIMUM 11 8d COMMON NAILS EACH END) OR MTS30 STRAPS TO ANCHOR UPPER STUD CLUSTERS TO LOWER STUD CLUSTERS/BEAMS. ANCHOR GROUND FLOOR STUD CLUSTERS TO BOTTOM PLATE WITH (4) SPH4/SPH6 STRAPS OR (8) SSP STRAPS (ONE SSP STRAP EACH SIDE OF STUD).
5. CONTRACTOR TO REVIEW TRUSS MANUFACTURER'S REACTION REPORTS AND ADJUST CONNECTOR SIZE AND CAPACITY AS REQUIRED (IF TRUSSES ARE SUBSTITUTED FOR STICK FRAMING).
6. ANCHOR FLOOR JOISTS/TRUSSES TO LOAD BEARING WALL BELOW OR DROPPED BEAMS WITH SIMPSON H2.5A STRAP AT EACH JOIST/TRUSS.

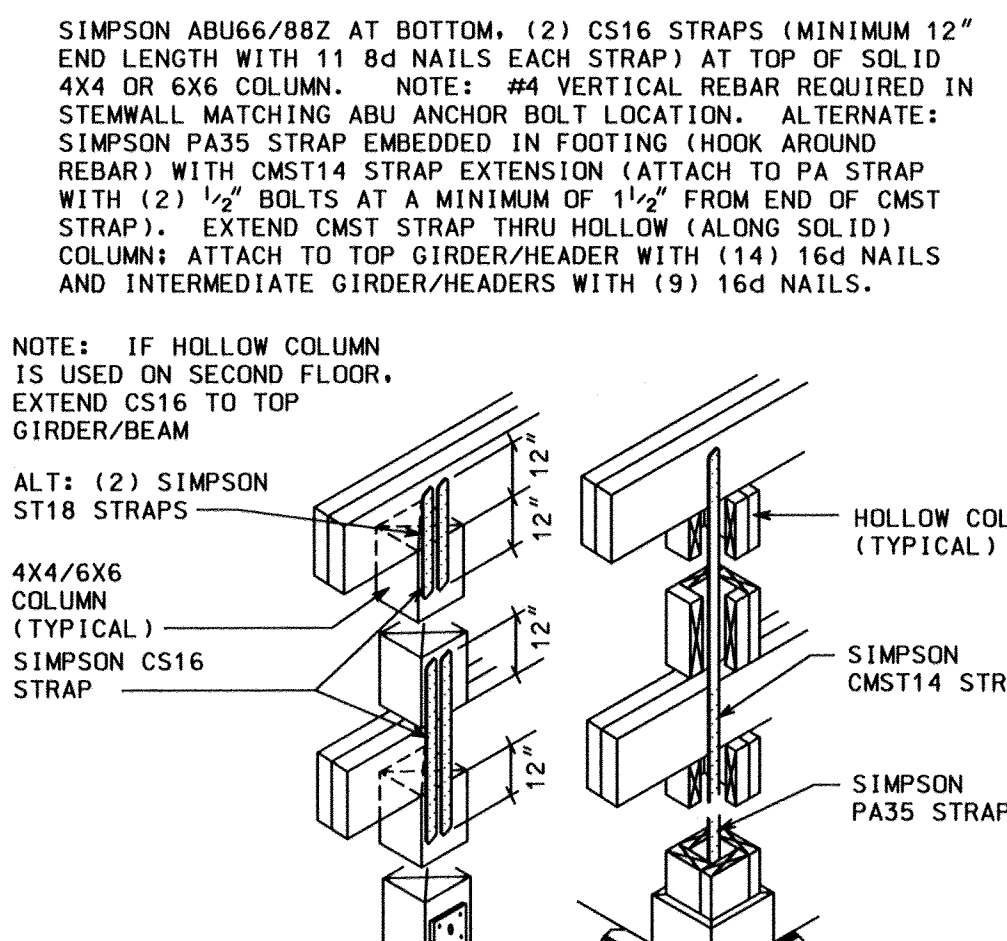
DORMER ATTACHMENT--

- CONSTRUCT DORMER AS PER DETAILS SHOWN FOR MAIN HOUSE (RAFTER/TRUSS CONNECTIONS, ROOF/WALL SHEATHING, ETC.). ANCHOR DORMER WALLS TO ROOF AS FOLLOWS:
1. WHEN WALLS ALIGN WITH RAFTERS/TRUSSES, ATTACH STUDS @ 2'-8" C-C TO RAFTER OR TRUSS TOP CHORD USING SIMPSON CS16 (MINIMUM 8 8d COMMON NAILS EACH END) OR LSTA18 STRAPS.
2. WHEN WALLS FALL BETWEEN RAFTERS/TRUSSES, BLOCK BETWEEN RAFTERS OR TRUSS TOP CHORDS USING MINIMUM 2X4 BLOCKING PERPENDICULAR (NOT FLAT) TO ROOF SHEATHING AT 2'-8" C-C UNDER THE WALL. ALIGN BLOCKING WITH DORMER STUDS ABOVE WHERE POSSIBLE. END WALL BLOCKING TO RAFTER/TRUSS TOP CHORDS USING A MINIMUM OF (3) 16d COMMON NAILS EACH END. STRAP DORMER STUDS TO BLOCKING USING SIMPSON MTS12/20 STRAPS.
3. WHERE STRAPS ARE TOO LONG ACROSS BLOCKING OR RAFTERS/TRUSS CHORDS OR CANNOT BE LINED UP WITH STUDS, WRAP THE STRAP AROUND BLOCKING/RAFTER/TRUSS CHORD OR DORMER WALL BOTTOM PLATE.
4. WHERE DORMER WALLS RUN PERPENDICULAR TO RAFTER/TRUSSES, ALIGN WALL STUDS WITH RAFTERS/TRUSSES AND ATTACH STUDS @ 2'-8" MAXIMUM C-C TO RAFTER OR TRUSS TOP CHORD WITH SIMPSON MTS12/20 STRAPS.

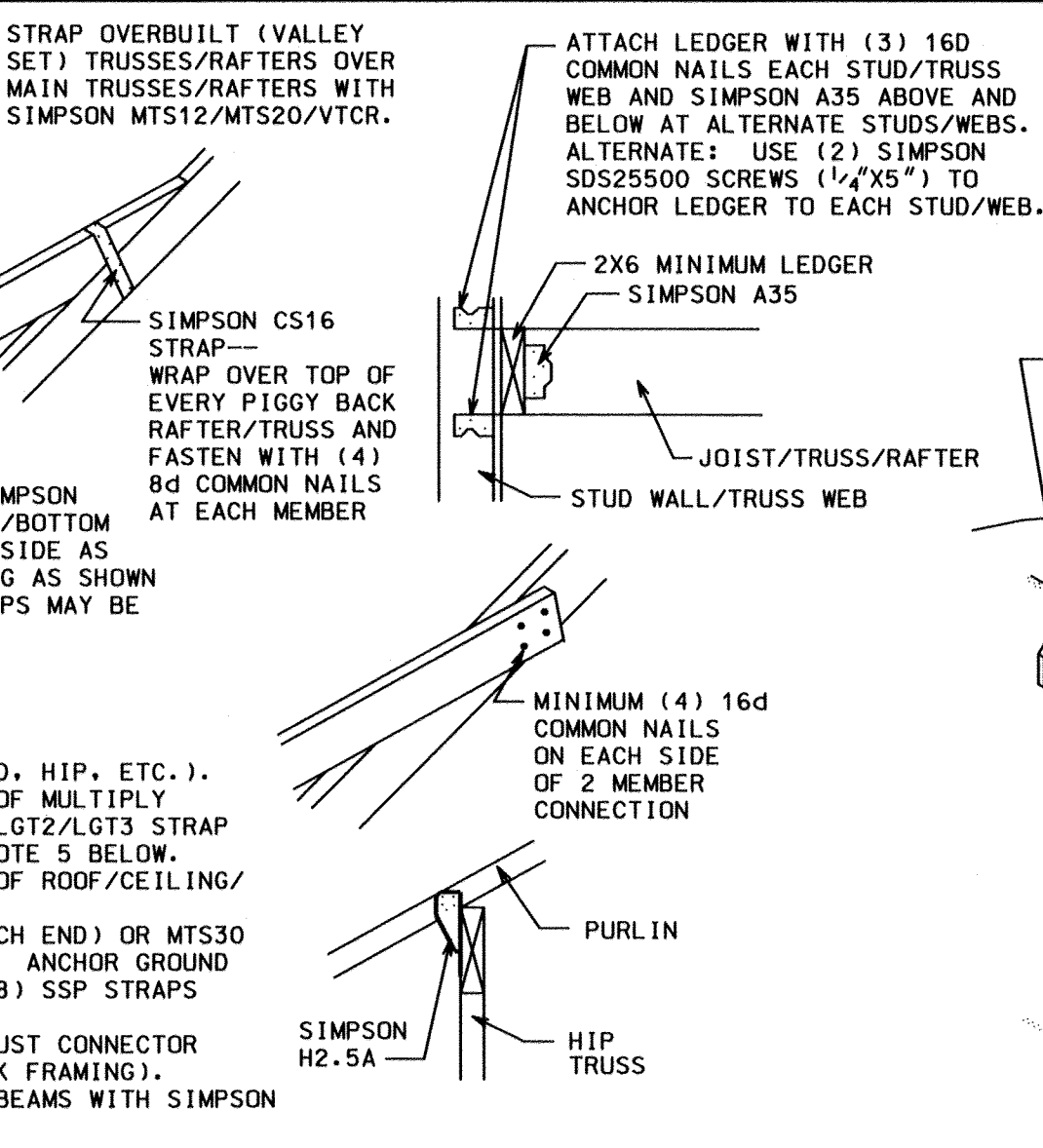
RAFTER/JOIST/TRUSS CONNECTOR DETAIL A



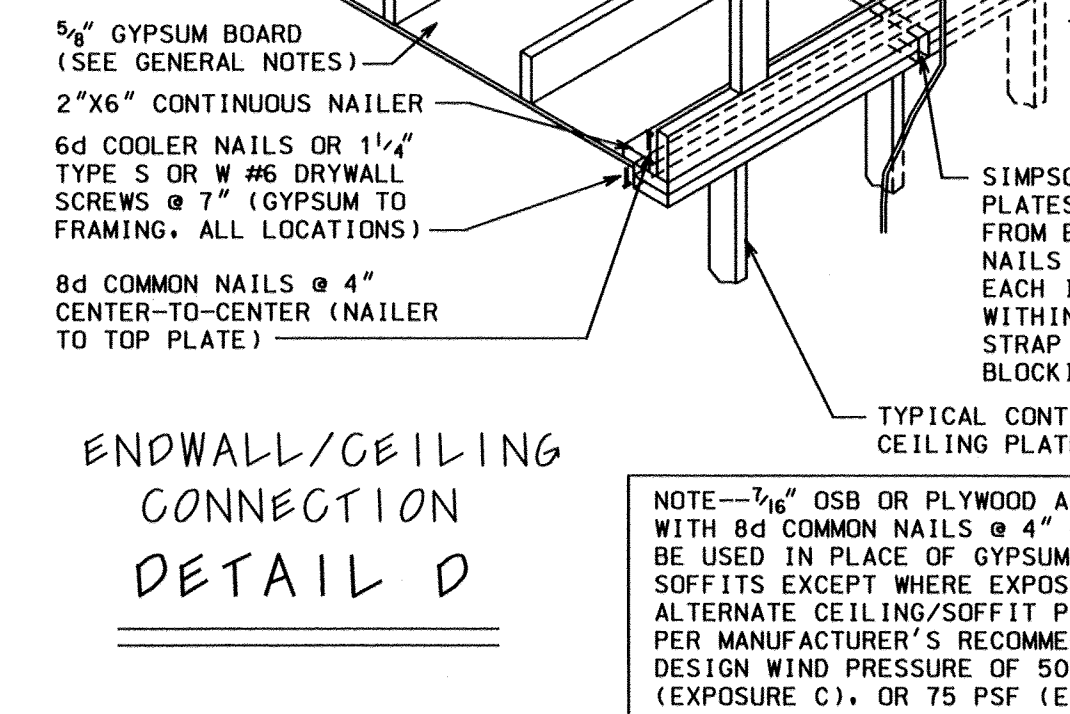
ROOF SHEATHING & CONSTRUCTION DETAIL C



PORCH COLUMN TIEDOWN DETAIL F

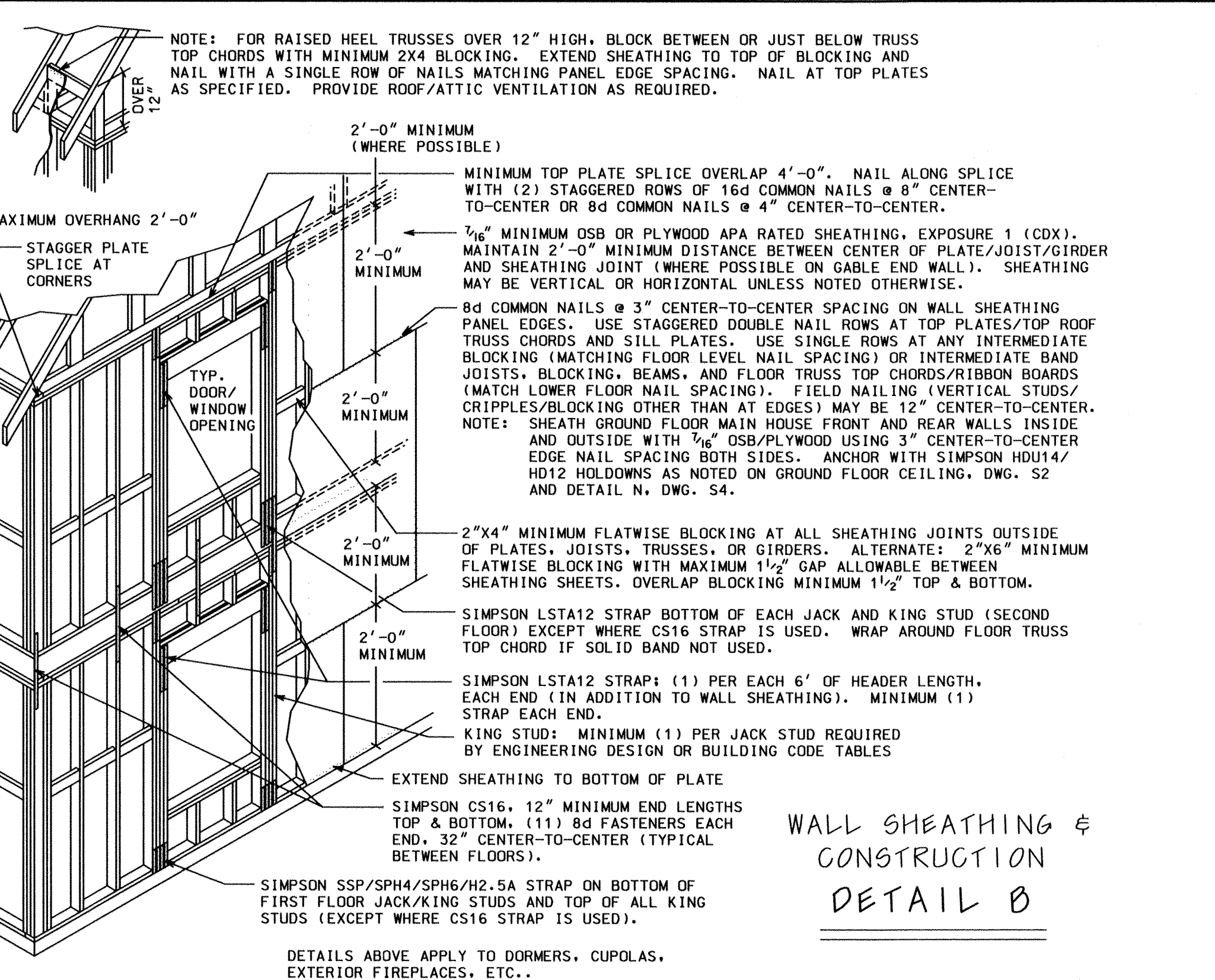


ENDWALL/CEILING CONNECTION DETAIL D



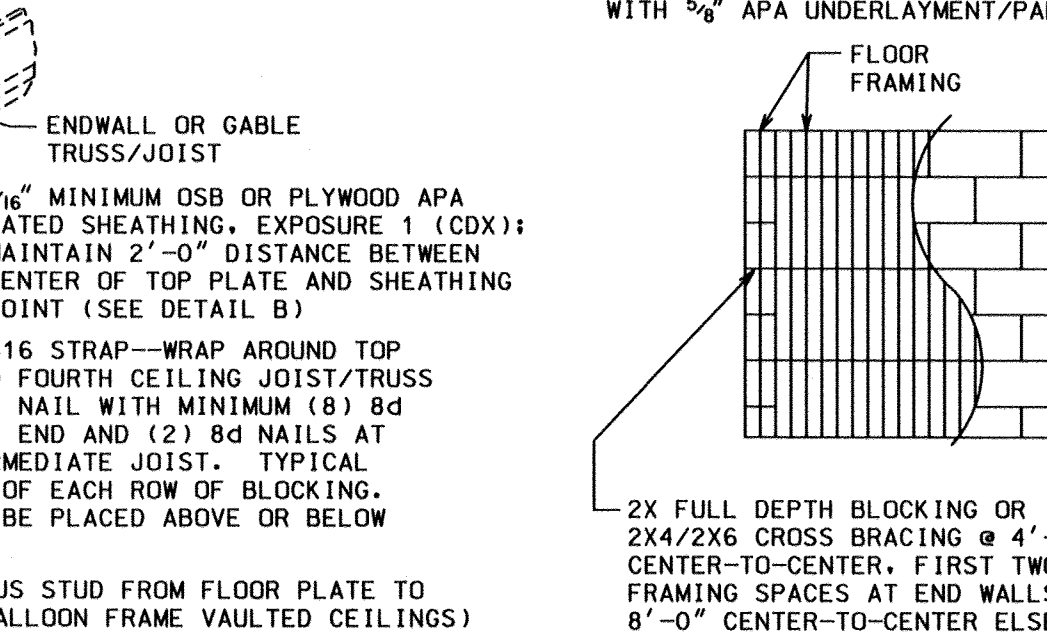
TYPICAL INTERIOR LOAD BEARING WALL STRAPPING DETAIL G

NOTE--DETAIL ABOVE FOR ILLUSTRATIVE PURPOSES ONLY. SEE DETAIL A FOR WRITTEN DESCRIPTION OF ACTUAL INTERIOR LOAD BEARING WALL STRAPPING REQUIREMENTS.

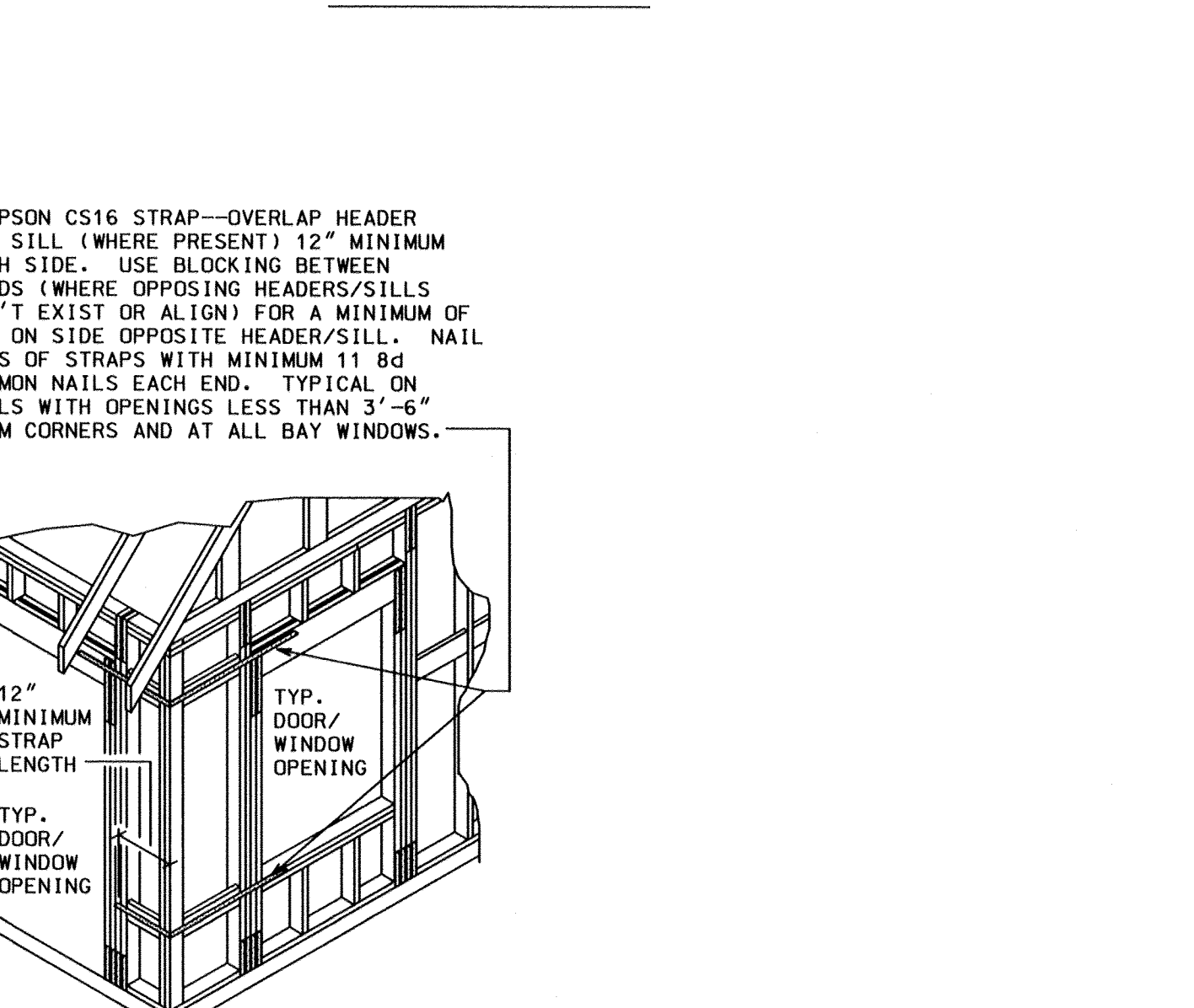


WALL SHEATHING & CONSTRUCTION DETAIL B

FLOOR SHEATHING & CONSTRUCTION DETAIL E



CORNER REINFORCEMENT DETAIL H

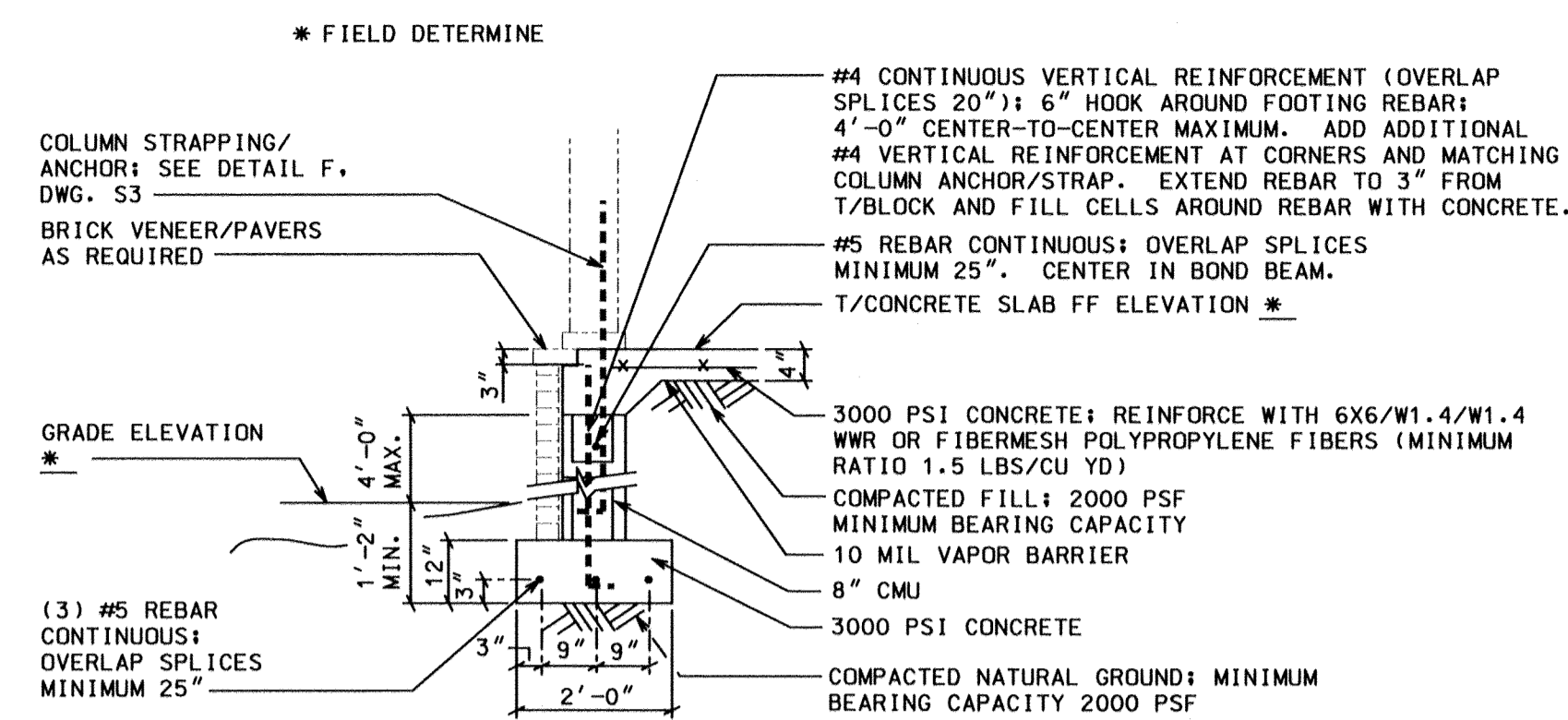


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GEORGETOWN CONSTRUCTION SERVICES, INC.
249 PINCKNEY ROAD, P.O. BOX 415, GEORGETOWN, SC 29442, PHONE (843) 546-4431
LOCATION: GEORGETOWN, SC
SCALE: NTS, DRAWN BY: WRT
DWG. NO.: S3
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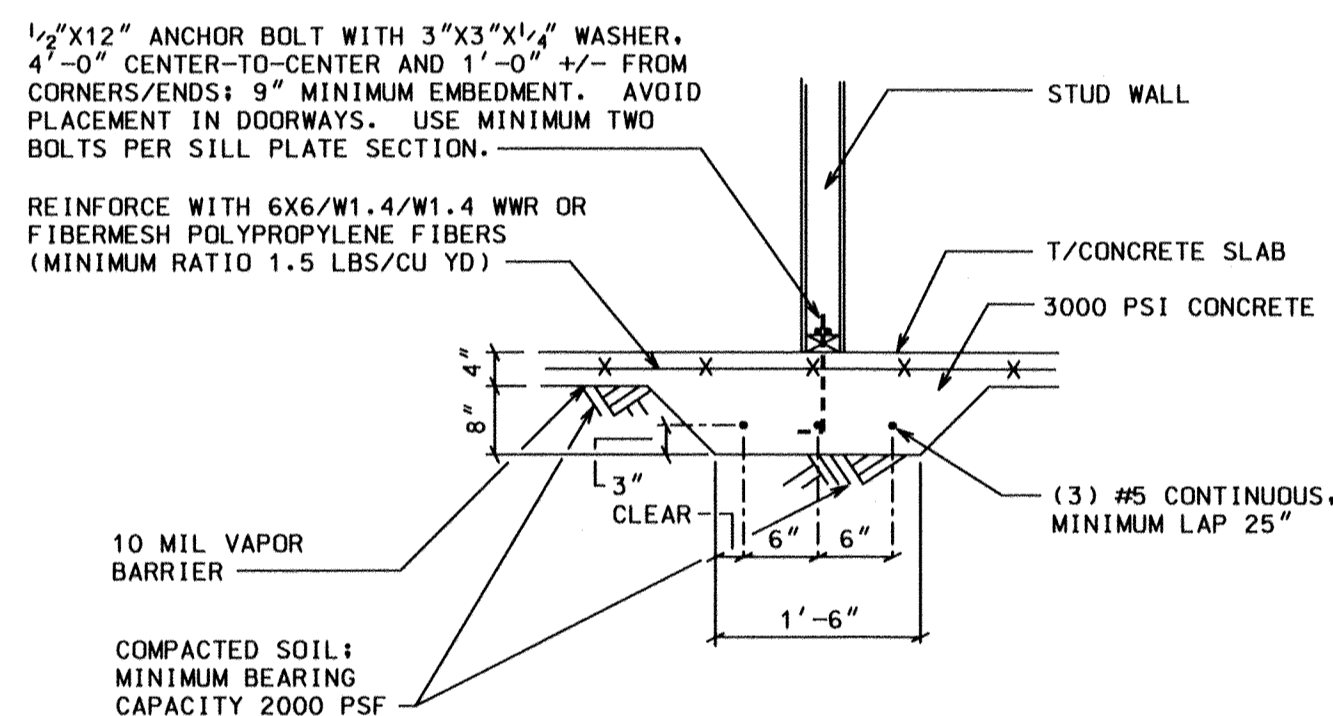


**PORCH SLAB OVER STEMWALL FOUNDATION
DETAIL I**

NOTES: THE METHODS BELOW MAY BE SUBSTITUTED FOR 1/2" ANCHOR BOLTS IN EXISTING CONCRETE.

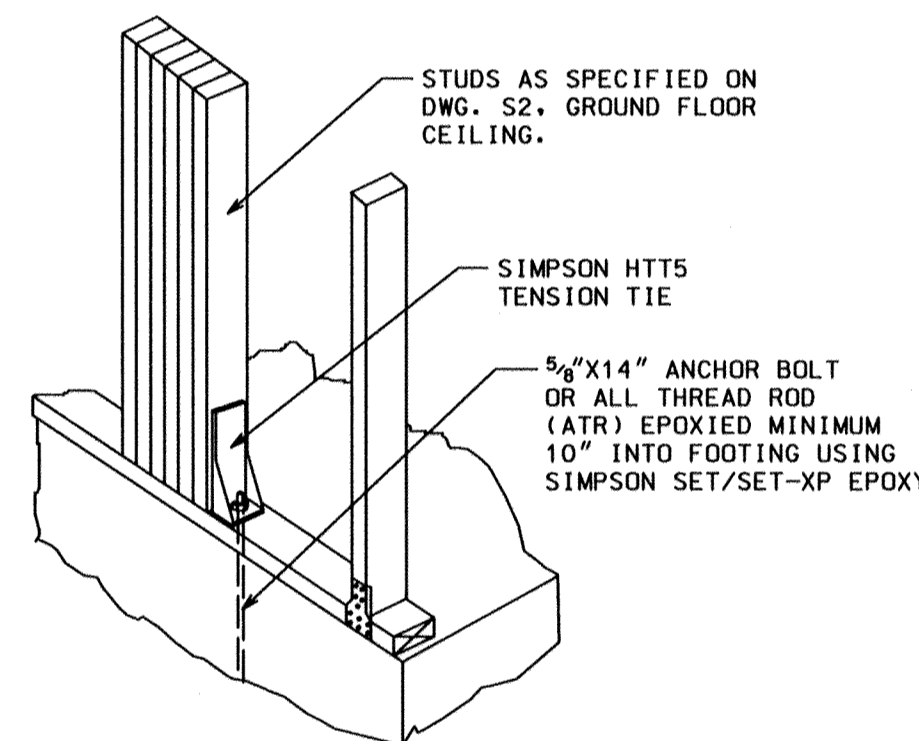
1. SIMPSON "SET" SYSTEM—USE 1/2" X 7" STUD, SIMPSON NO. RFB#4X7, WITH SET OR SET-XP EPOXY RESIN.
2. REDHEAD ADHESIVE ANCHORING SYSTEM—USE 1/2" X 7" THREADED ROD WITH ACRYLIC OR EPOXY ADHESIVE (CAT. NO. AT, C6, OR G5).
3. KELKENGOLD RESIN BOND ANCHORING SYSTEM—USE 1/2" X 6 1/2" KELLIBOND ANCHOR WITH KELLIBOND RESIN.

IN ALL CASES ABOVE, USE 4 1/2" MINIMUM EMBEDMENT AND REPLACE STANDARD WASHER WITH 3"x3"x1/4" OVERSIZE WASHER.

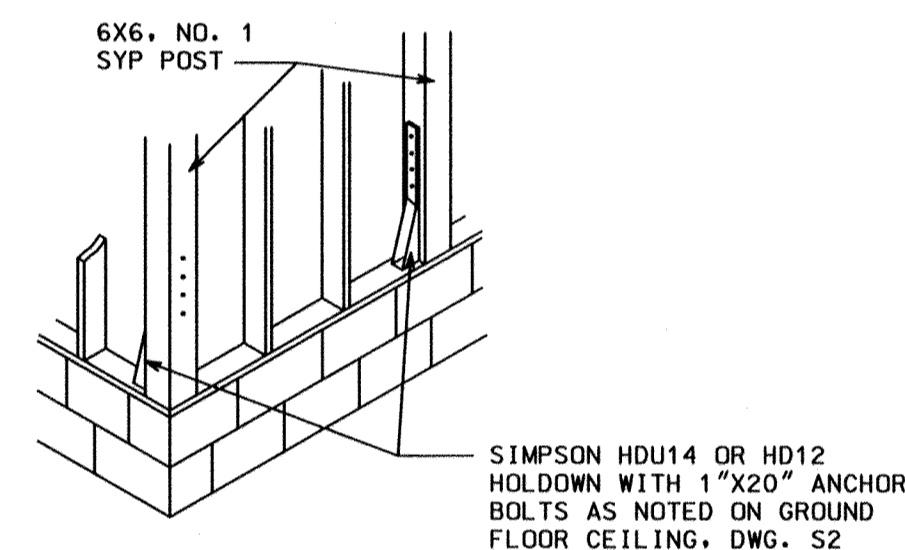


**THICKENED INTERIOR FOOTER
DETAIL L**

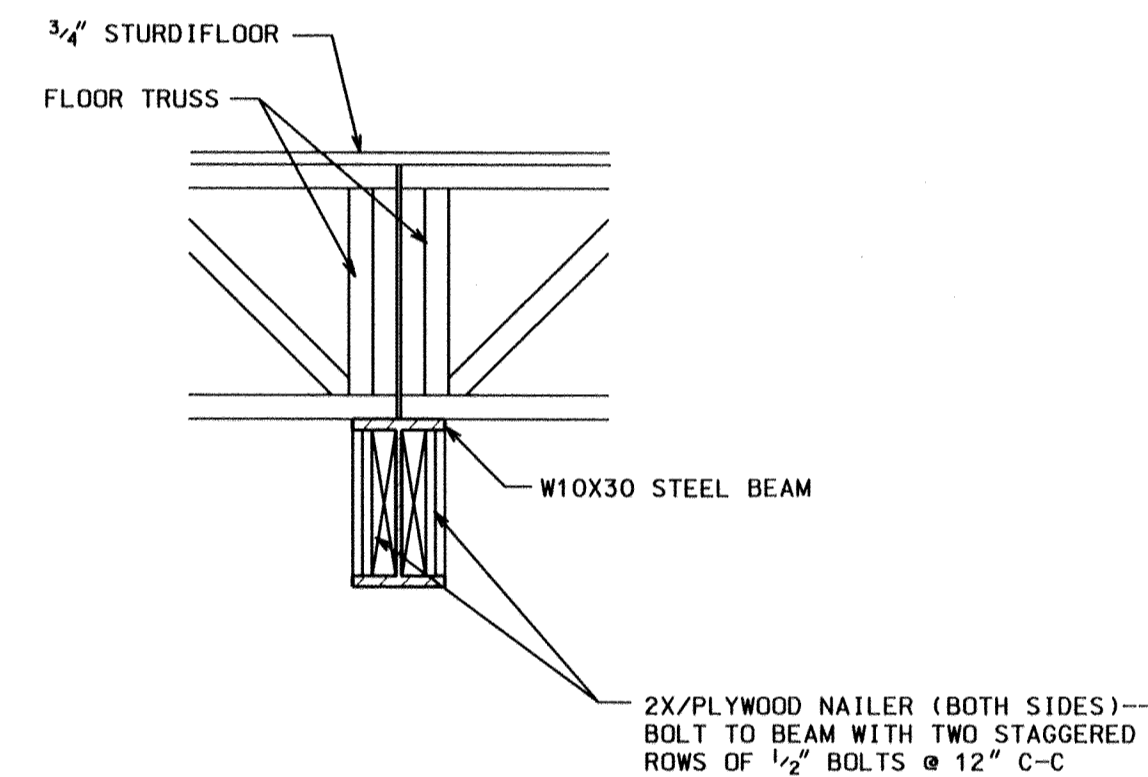
ATTACH HOLDDOWN STUDS TO EACH OTHER WITH MINIMUM (2) ROWS OF 100 COMMON NAILS @ 12" CENTER-TO-CENTER (STAGGER NAILS AT EACH ROW AND ALTERNATE ROWS FROM STUD TO STUD)



**STUD CLUSTER HOLDDOWN
DETAIL M**

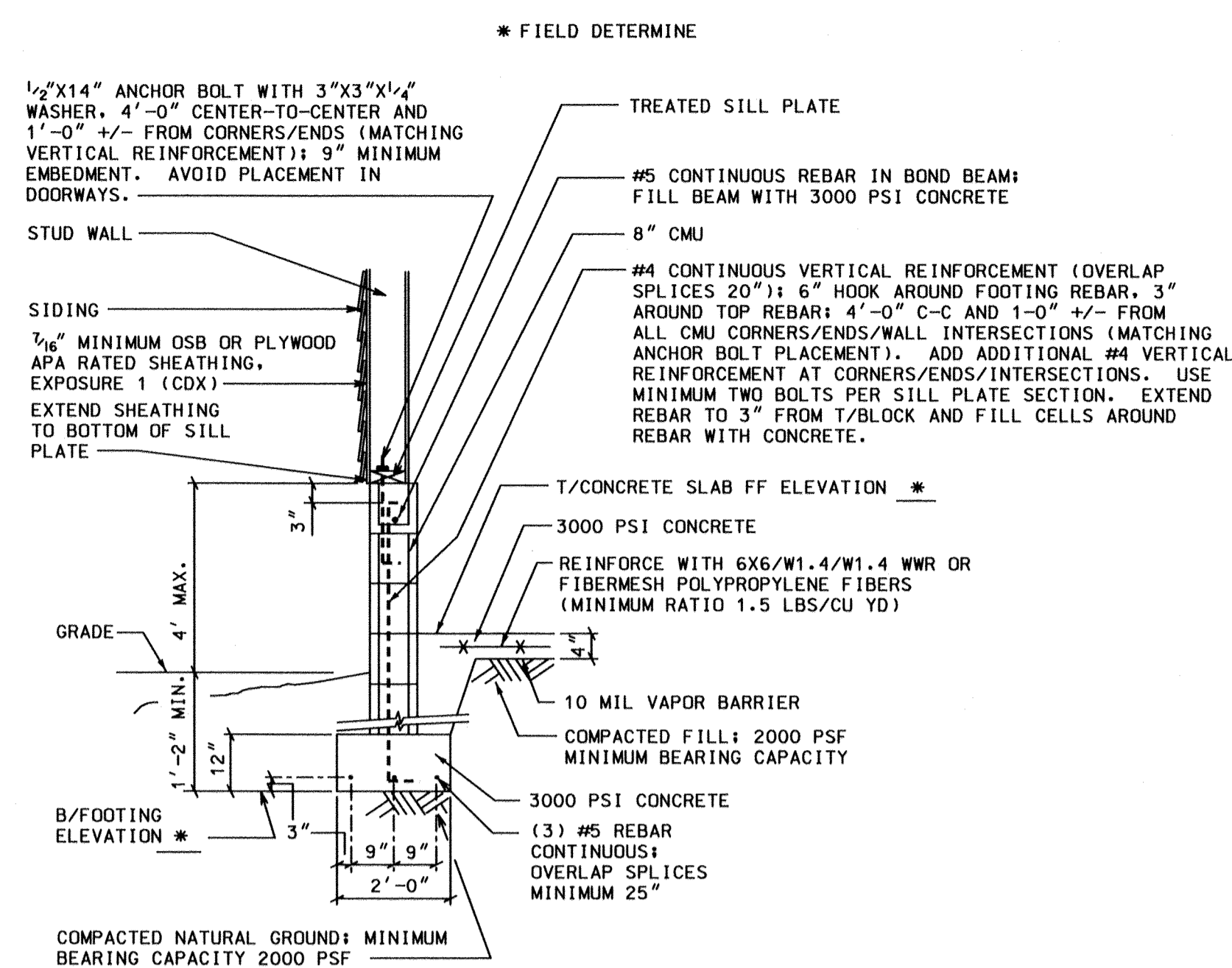


**HOLDOWN DETAILS
DETAIL N**

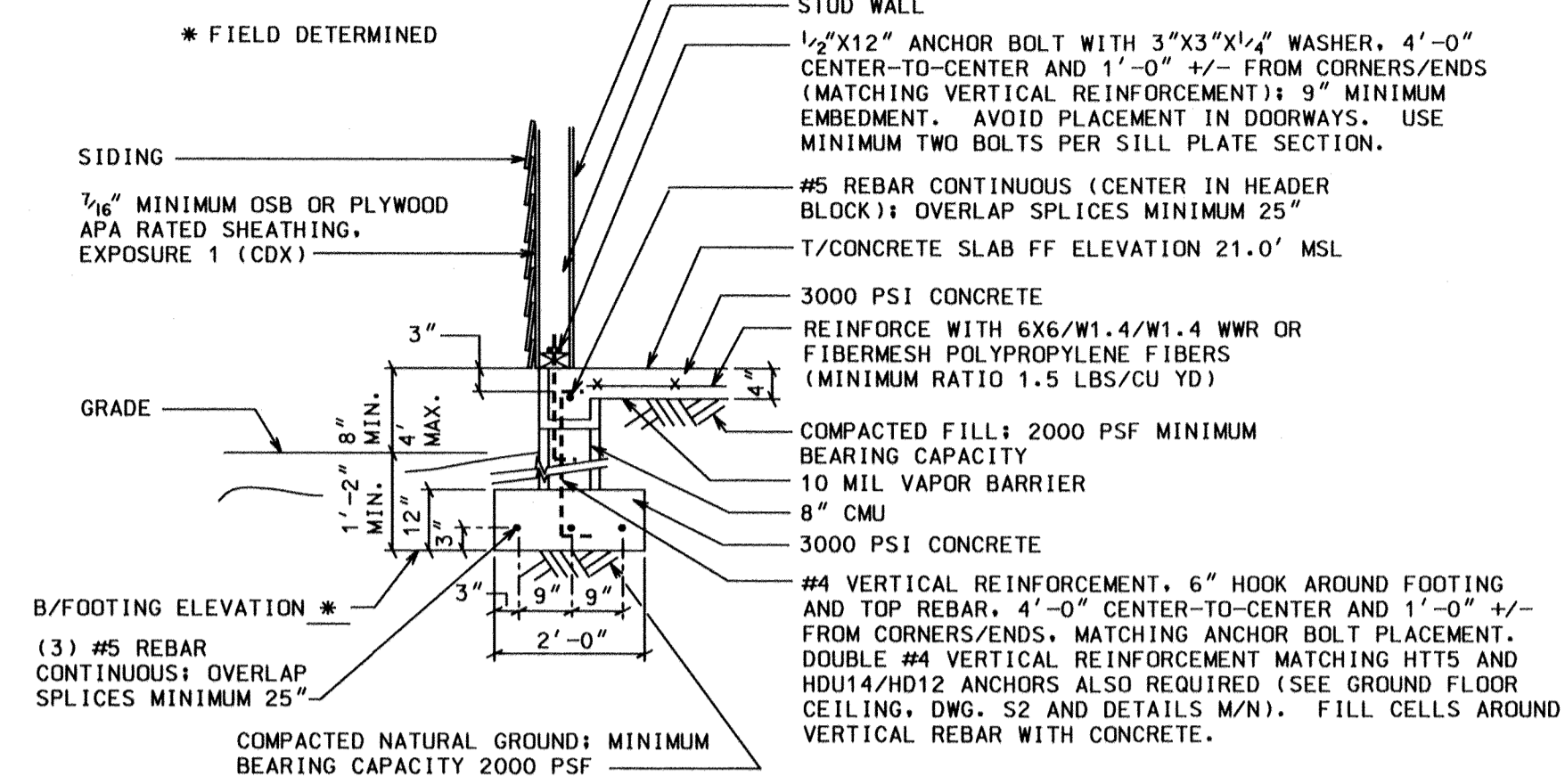


**STEEL BEAM DETAILS
DETAIL O**

NOTE—ADD NAILER TO W12X35 BEAM SIMILAR TO W10X30 SHOWN ABOVE

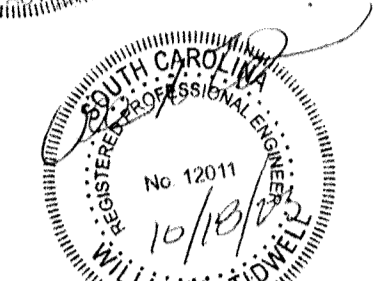


**GARAGE STEMWALL FOUNDATION
DETAIL J**



**SLAB OVER STEMWALL FOUNDATION
DETAIL K**

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